



## State Construction Department

Responses to requests from the  
Joint Appropriations Committee budget hearings on  
December 7th and 13th, 2021

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# Wyoming State Construction Department

Governor Mark Gordon

Jerry Vincent, Director

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December 27, 2021

Members of the Joint Appropriations Committee:

Per the meetings held on December 7, 2021, Senator Perkins requested a list of Major Maintenance projects above \$250,000.

Please find the information attached.

**State Major Maintenance Projects greater than or equal to \$250,000**

<b>Status</b>	<b>Department</b>	<b>Project Description</b>	<b>Current Budget</b>	<b>Total Contract</b>	<b>Total Expensed</b>
<b>ACTIVE</b>	<b>006 - Administration And Information</b>	Barrett Building - Heat Plant Replacement	\$ 3,060,863.00	\$ 2,973,236.06	\$ 2,967,586.24
		GSD Building Concrete Replacement - Pacific	\$ 262,800.00	\$ 262,800.00	\$ 54,962.60
		Combined Labs - Chiller Emergency	\$ 253,650.00	\$ 185,600.00	\$ 54,150.00
	<b>007 - Wyoming Military Department</b>	MIL - 115Th Readiness Center - Hvac Improvement And Generator Replacement (2018)	\$ 984,411.53	\$ -	\$ 984,411.53
		MIL - Sheridan Readiness Center - Restripe Pov Parking And Repair Gov Compound - 2017	\$ 513,000.00	\$ 338,000.00	\$ 338,000.00
		MIL - Guernsey Rti Bldg. - Boiler Heating Repair - 2019	\$ 325,000.00	\$ 325,000.00	\$ 325,000.00
		MIL - Cheyenne Raper Readiness Boiler & Control Replacements - 2020	\$ 602,568.00	\$ 602,568.00	\$ 602,568.00
		MIL Torrington Readiness Center Hvac, Insulation & Heating, & Roof Replacement 2020	\$ 850,000.00	\$ 850,000.00	\$ 52,204.19
		MIL - Powell Readiness Center - Boiler Replacement - 2020	\$ 250,000.00	\$ 250,000.00	\$ 216,928.80
		<b>010 - Department Of Agriculture</b>	WSF - Grounds - Paving Meadowlark & Paintbrush Drive	\$ 350,000.00	\$ 229,500.00
	WSF - Ag Hall - Window Replacement On Upper Level		\$ 250,000.00	\$ 184,343.62	\$ 184,307.52
	WSF - Ford Pavilion Electrical		\$ 302,961.00	\$ 301,811.00	\$ 12,735.00
	<b>015 - Attorney General</b>	WLEA - Fireing Range Road/Skid Pad	\$ 320,205.75	\$ 320,205.75	\$ 296,494.21
	<b>048 - Department Of Health</b>	WLRC - Concrete & Asphalt Campus Wide Replacement	\$ 250,000.00	\$ 248,486.78	\$ 248,486.78
		WRC - Retirement Center - Lighting Upgrade	\$ 406,084.88	\$ 403,071.00	\$ 119,024.88
		WSH - Bldg. 33 - Ligature Resistant Fixture Upgrades	\$ 562,250.00	\$ 558,788.00	\$ 559,358.00
	<b>080 - Department Of Corrections</b>	WSH - Bldg #33 Adult Care Facility - Replace Roof - Construction	\$ 1,485,119.00	\$ 1,485,119.00	\$ 1,409,614.00
		WLRC - Administration Building - Window Replacement - 2021	\$ 325,000.00	\$ 130,165.59	\$ 186.64
		WMCI - Floor Coating (17-4034)	\$ 595,680.82	\$ 591,971.62	\$ 595,680.82
		WSP - Cpf - Boiler Rebuild (17-4026)	\$ 2,529,897.33	\$ 2,483,962.13	\$ 2,350,280.12
		WMCI - Central Plant - Boiler Burner Assembly Replacement (18-4055)	\$ 340,866.77	\$ 325,890.37	\$ 340,866.77
		WTA - Wdod Training Academy - Arng Wyoming National Guard Armory - Parking Lot Renovation - 2019	\$ 260,551.00	\$ 218,500.00	\$ 194,175.30
		WSP - South Housing Unit - Boiler Repair (2019)	\$ 257,455.20	\$ 136,541.91	\$ 252,583.82
<b>ACTIVE Total</b>		<b>\$ 15,338,364.28</b>	<b>\$ 13,405,560.83</b>	<b>\$ 12,388,512.65</b>	

**State Major Maintenance Projects greater than or equal to \$250,000**

<b>Status</b>	<b>Department</b>	<b>Project Description</b>	<b>Current Budget</b>	<b>Total Contract</b>	<b>Total Expensed</b>
<b>CLOSED</b>	<b>006 - Administration And Information</b>	Emerson Building - Replace Boilers	\$ 665,492.58	\$ 665,250.93	\$ 665,492.58
		Unicover Building - Replace Boiler System	\$ 534,999.00	\$ 534,999.00	\$ 534,999.00
		Unicover Building - Roof Replacement - 2019	\$ 1,597,255.72	\$ 1,597,255.72	\$ 1,597,255.72
	<b>080 - Department Of Corrections</b>	WHCC - Floor Coating (17-4034)	\$ 463,224.53	\$ 462,767.00	\$ 463,224.53
		WMCI - Security Fence Renovation (17-4035)	\$ 540,848.56	\$ 540,488.56	\$ 540,848.56
		WHF - Food Service - Freezer / Cooler Replacements (18-4067 & 18-4072)	\$ 275,335.60	\$ 273,691.38	\$ 275,335.60
		WSP - South Housing Unit - Hvac Cleaning (2019)	\$ 283,781.00	\$ 283,781.00	\$ 283,781.00
		<b>CLOSED Total</b>		<b>\$ 4,360,936.99</b>	<b>\$ 4,358,233.59</b>
<b>Grand Total</b>		<b>\$ 19,699,301.27</b>	<b>\$ 17,763,794.42</b>	<b>\$ 16,749,449.64</b>	



# Wyoming State Construction Department

Governor Mark Gordon

Jerry Vincent, Director

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December 27, 2021

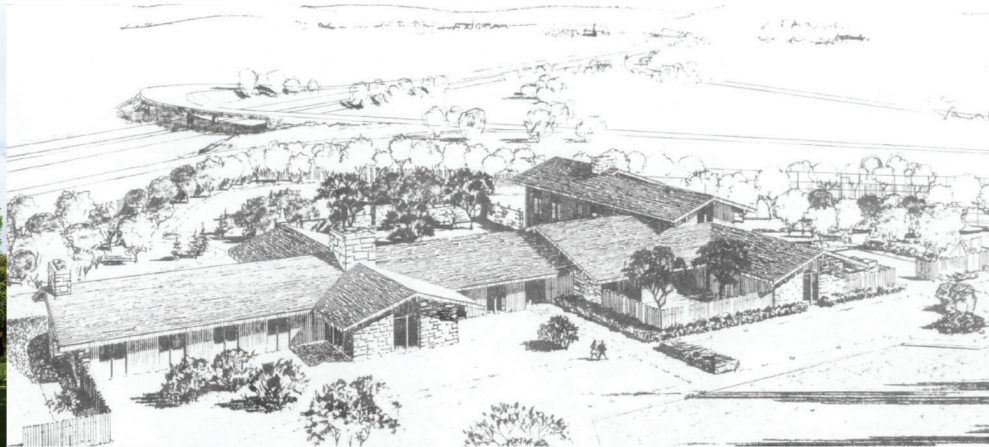
Members of the Joint Appropriations Committee:

Per the meeting held on December 7, 2021, Representative Nicholas requested the Governor's residence Level I & II report to the 65th Legislature.

Please find the information attached. A few print copies are also available upon request.

# STATE OF WYOMING GOVERNOR'S RESIDENCE Cheyenne, WY

## Security Facility Requirements and Alternative Site Selection & Analysis Report to the 65th Legislature



Wyoming State Construction Department  
Construction Management Division  
November 2018

## FORWARD

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For most states the Governor's Residence is much more than a home for the first family. The building and grounds honor and glorify the achievements and beauty of the State. Nearly all residences now have significant public spaces that regularly welcome and educate schoolchildren and tourists and host many public and professional events. In the last several decades surrounding states, including North and South Dakota, Colorado, Nevada, New Mexico, and Arizona, have constructed, re-purposed, or expanded the public spaces in the residence.

Recognizing numerous shortcomings with the current Governor's Residence, in 2018 the Legislature established a working group to evaluate the current location and identify potential locations for a new Residence. The working group toured residences in surrounding states and researched and analyzed the size, purpose and function of other governor residences.

The current residence was built in 1974. The original design was downsized because of insufficient funding. Ceilings were lowered, bedrooms removed and the public space program cut in half. The quality of construction materials and finishes were compromised. Perhaps the most important finding of the working group is if a new residence is constructed, it is essential that it is fully funded and done right. The Governor's Residence is the Peoples' House. Every Wyoming resident should be proud to display the Residence to the world and welcome everyone to enter and experience our history and our pride in this great State.

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# EXECUTIVE SUMMARY

In collaboration with Management Council, the State Building Commission (SBC) created the Governor’s Residence Working Group to complete this report pursuant to House Bill 0194 (HB 0194). This report provides historical context and describes the process and deliberations of the Working Group. Site visits to several regional governor’s residences were completed as part of the due diligence process to identify similarities, differences, and precedents to consider. Following a deliberative process to identify a broad cross-section of potential sites, the Working Group focused on 14 sites for more intensive investigation. From these sites, in addition to considering additions to or modifications of the existing residence, three new sites were selected to explore site development concepts addressing security and function issues. The Working Group evaluated the positives and negatives of the sites and recommends these four locations be advanced for further consideration. Each site is unique and offers distinct advantages and challenges. If the Legislature decides to move forward, the ultimate location will be determined by future policy makers. Conclusions and recommendations begin on page 69.

The Working Group concurs that the existing residence does not fulfill the objectives and obligations of a governor’s residence. We recommend the Legislature authorize a Level I and II study.

This report presents the range of potential costs and considerations for developing a new Governor’s Residence. A low and high estimate provides a range of costs for each site. The overall range starts at \$9 million and extends to \$18 million weighing elements including construction cost, land acquisition, security considerations, and project delivery costs.

This study is respectfully submitted to the State Building Commission in November 2018.

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# PURPOSE AND BACKGROUND

## PURPOSE AND BACKGROUND

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In 1971, the Legislature appointed a special committee to design and construct a new governor's residence. The committee, led by First Lady Hathaway, considered the many needs and desires for this important State building. The goals the committee identified are as true today as they were decades ago. Records describing the design competition lists various requirements of a governor's residence:

*"[A] Governor's Mansion needs to be a very versatile building. It must fulfill two distinct, sometimes related, sometimes conflicting, design requirements: (1) It must be a private home for the Governor and his or her immediate family..., and (2) An official State Building for official government events..."*

*"The job of Governor today suffers from an increasing loss of privacy... To perform any job well, a person needs some seclusion. Perhaps a more unfortunate spinoff of the demands on the Governor is that in some cases this pressure inevitably involves the Governor's family."*

The 1974 design documents identified goals to balance the broader functions of the facility, including:

*"The designer does not have a known client; he must design a residence to comfortably accommodate any family."*

*"The facility must be versatile... designed as to feel warm and intimate for small groups but must have the flexibility through arrangement and interrelationship to adequately accommodate large crowds."*

*"Perimeter security involving visual and/or electronic surveillance in conjunction with fencing and lighting should be carefully considered. One or more states already assign security officers to the executive residences, on a part-time basis, and perhaps others on a full-time live-in basis, to assure maximum protection for not only the public official, but for his or her immediate family."*

Unfortunately, the constructed residence did not fully address the function and needs identified in the 1974 report. The project was significantly downsized to accommodate cost limitations. Interestingly, lack of appropriate funding significantly impacted the quality and function of several newly constructed governor's residences toured by the Working Group.

It is important that we do not fall to the temptation of cutting costs at the expense of the long-term viability of the facility. This report seeks to provide information to assist decision makers in appreciating the investment and commitment necessary to ensure that a new governor's residence does not fall into obsolescence. The prevailing vision is that this facility serve as a monument to the people of Wyoming, stand as a hallmark of our success and determination, and create a long-lived and versatile facility that will serve many future generations.

## PURPOSE AND BACKGROUND

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The SBC was directed to prepare a report reviewing the security issues and functionality of the governor's residence. The SBC was required to:

- Review the security requirements of the existing Governor's Residence
- Authorize modifications to non-personnel security measures
- Consider potential construction of a new Governor's Residence
- Review and evaluate at least three potential locations
- Consider modification of the existing Governor's Residence
- Evaluate the suitability of each location to meet the dignity of the office
- Report on any other considerations the SBC deems advisable

- Determine the potential costs at each location
- Estimate revenues from the sale of the current residence and cost of leasing a temporary facility, if necessary
- Propose a schedule for construction

The SBC was also authorized to sell the existing Governor's Residence, contingent on the appropriation of funds by the Legislature to construct a new facility.

Management Council and the Joint Appropriations Committee shall consult regarding the report and either may sponsor legislation for introduction in the 2019 General Session.

## PURPOSE AND BACKGROUND

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### A BRIEF HISTORY

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The existing governor's residence was built between 1974 and 1976, replacing the original Historic Governor's Mansion, located at 22nd Street and House Avenue in Cheyenne. Discussions to build a modern residence began in 1971 with the establishment of the Governor's Mansion Commission. The need for a new residence was driven by the inaccessibility of the upper and lower floors.

In 1973, the Legislature appropriated \$550,000 to construct a new residence. The Commission was given the sole authority to select the site of the new residence and determine the structure and style of the residence. In 1975, the Legislature appropriated an additional \$250,000. Construction was completed in 1976 on the site of the former American Legion Park, located adjacent to Interstate 25 and Central Avenue.

The private space in the existing governor's residence is 4,510 square feet including 2,055 square feet of private space on the main level providing two bedrooms, a master bedroom, 3.5 bathrooms, and a kitchen. The main floor includes a 730-square-foot great room that is semi-private due to adjacency to public space. The basement space is 1,725 square feet of marginally functional storage and living space, including two bedrooms, two baths, and a TV room.

### The 1971 Commission

The Governor's Mansion Commission included the First Lady, two legislators, an architect, and a member of the public. The committee was tasked with review and development of a new site and facility for the Governor's Residence with a final report due in 1973.

As part of the study, the Commission visited other state governor's residences, similar to the 2018 working group. The commission defined key elements for the new residence. A number of items were discussed and documented through interviews with former first ladies. As it related to the design itself, the requirements outlined the following key points to include in any proposals:

***It must be versatile, functioning as both a private residence and an official state building.*** It was intended the building would host events for governmental as well as non-profit organizations on a regular basis. Privacy and separation between state and family functions were important. This section detailed the need for an almost retreat-like area from the public eye and pressures that come with the role of governor and first family. Further, it noted the need for flexibility as the size and composition of first families could vary with each new governor, as frequently as every four years.

## PURPOSE AND BACKGROUND

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**Convenience and efficiency of the space.** The site should accommodate visiting dignitaries, state and social functions to varying degrees of size and formality. For this reason, guest suites were to be included as well as spaces in the public areas that could be rearranged as needed to accommodate different groups and events.

**Security.** Detailing options for building security, site access, and security staff, this point highlighted the increasing need for protection.

**Grounds and landscaping.** As with the building, the grounds should also be designed with flexibility and multiple areas of use intended, including a private area for the first family.

**Parking and circulation.** As with any multifunction or public building, the need to move and efficiently park vehicles for large events without blocking access was necessary.

**Flexibility.** Providing alternatives for the future was a key element of the plan, going so far as to say “future expansion of any or all areas is always a possibility.”

**Rooms and sizes.** A table of suggested rooms and square footages was included, with the total sum not to exceed 10,000 square feet.

**Other considerations.** This final section denoted preferred locations and physical accessibility for the design.

## PURPOSE AND BACKGROUND

### Sites Considered in the 1971-1973 Study

Site considerations included location primarily, scenic views, landscaping on the site, cost and ownership, and adjacent neighborhood and housing.

Brimmer Site: 28th & Carey Avenue

Foyer Avenue Site: Park in the Avenues

Park Site No. 1: City park 14 blocks from the capitol on Carey Avenue

**Park Site No. 2: North corner of Frontier Park**

Ranger Road & Buffalo Avenue Site: Western Hills neighborhood

Indian Hills Site: Ranch area 4 miles from Capitol complex

Pershing Boulevard Site: East Cheyenne neighborhood

Hollis Site: 7 blocks east of the Capitol complex

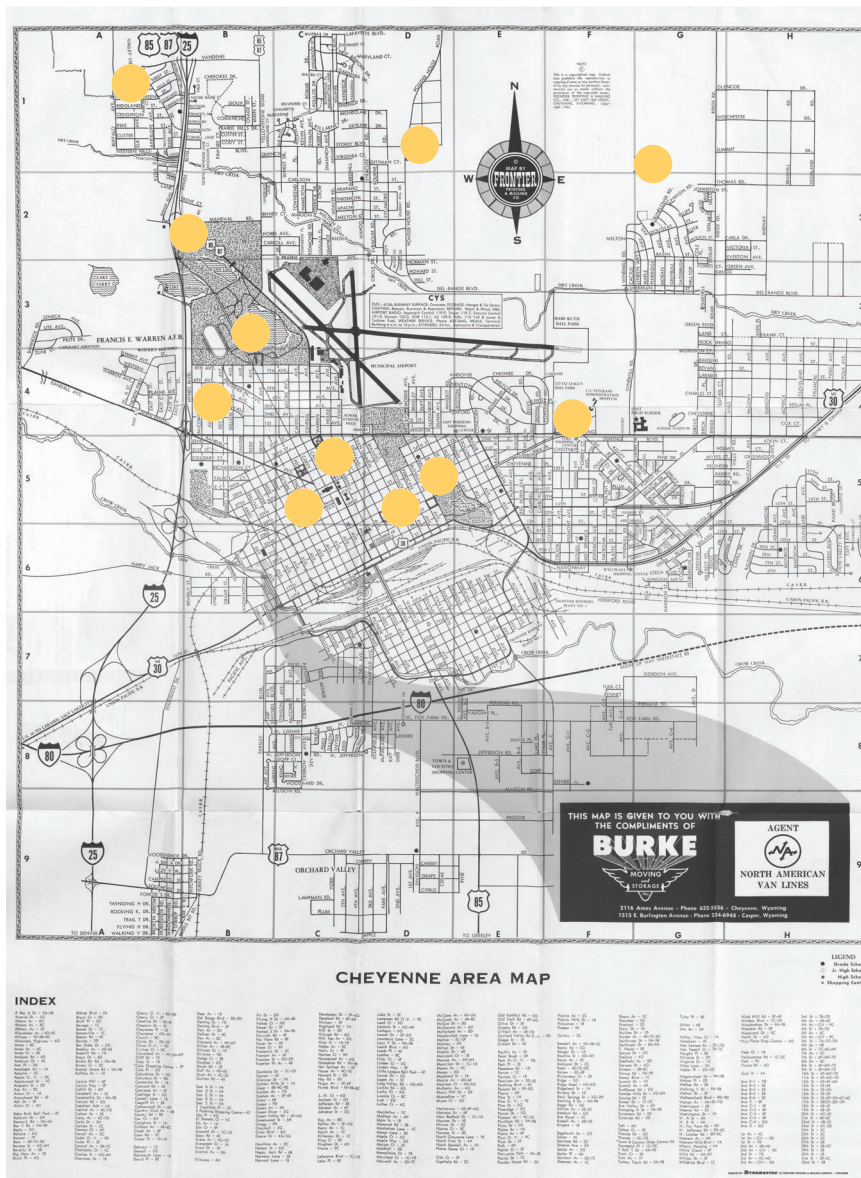
Read Site: 13 blocks east of Capitol complex

Minnehaha Site: Holiday Park adjacent on 19th Street

Carey Site: Between Warren and House Avenue

Collin Site: between Warren and House and 21st and 22nd Street

Note: Some of these same sites were considered in this study. See the Site Evaluations section for details.



Map available via Governor's Study pages in the [Wyoming State Online Archives](#) under "Pamphlets."

## PURPOSE AND BACKGROUND

The final design was created by Kellogg and Kellogg Architects. The firm was chosen through a juried system of 17 blind proposals by Wyoming resident architecture firms.

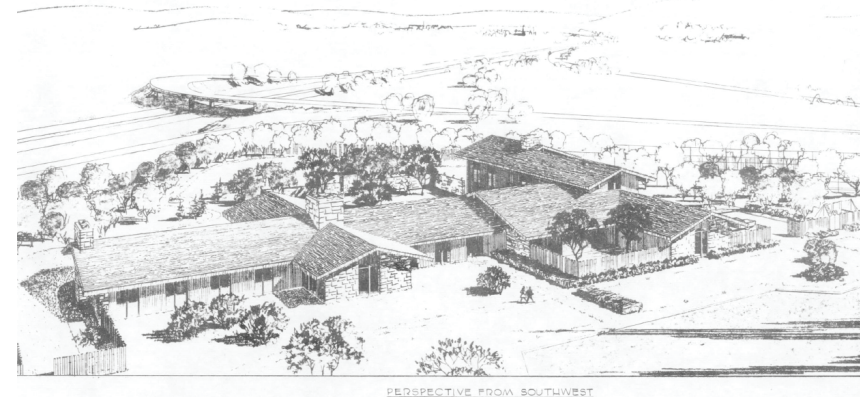
The design chosen was a single story ranch-style home employing light wood frame construction techniques. From the outset, the project and program included adequate features and space; however, due to limited funding, the downsizing of the project impacted the functionality of the building by minimizing usable family living space, public space, kitchen facilities, and office, utility and storage space. The original design was changed from a two-story design with four bedrooms on the upper level to a single-story design with two bedrooms moved to the basement, impacting the functionality to the family. The public and service areas of the building were also significantly reduced from the original design and program.

Several improvements and remodels, funded primarily from private donations, have occurred over the years to make the residence more functional, with limited success.

The current facility was built with a limited budget and reflects a smaller and less expensive solution than the original program required. This resulted in numerous deficiencies, which can be divided into two areas: **security** and **function**.



*Original submittal drawings from Kellogg & Kellogg. Available via Wyoming State archives.*



## PURPOSE AND BACKGROUND

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conducive to a modern family lifestyle and to some, is not aesthetically pleasing. The public space also has functional limitations. The layout of the public areas limits the use of private family spaces. Lines of sight to the residence from adjacent roadways and the golf course to private spaces, including bedrooms, result in the need for privacy curtains which minimizes the function of these rooms. In addition to the lack of secure division, there are no restricted or secured private outdoor spaces available to the family. The public dining room, primary patio and private family great room all have sightlines directly between each space, limiting the duality of function for these spaces at the same time. Additional questions regarding the capacity of the public space – currently able to accommodate 56 to 60 seated – raises the question of how large the space should be and whether multiple spaces of varying sizes would be beneficial.

Additional functional concerns relate to the availability of spaces that can accommodate changing administration’s families and operational preferences. There is not adequate space available to accommodate security personnel, office space, and residence staff. There are inadequate bedrooms for a family with more than two young children. Although two additional bedrooms are available in the basement, these spaces are isolated from the remainder of the residence and access is limited. In short, while the residence need not bend to every preference of the currently seated governor, the facility should be flexible enough to accommodate the needs of families of varying size and composition.

Considering these deficiencies, several discussions regarding renovating or replacing the existing governor’s residence have taken place over the years. In 2003, \$372,000 was appropriated for capital construction. In 2011, the Legislature evaluated options for a long-term remodeling or replacement of the residence and appropriated \$200,000 for immediate remodel needs. An additional \$450,000 was appropriated in the State Building Commission Contingency fund for the acquisition of lands for a new residence, which was line-item vetoed by the governor.

Coinciding with troubled economic times, the operations budget has been reduced from \$809,772 in 2008 to \$573,621 in 2017. These reductions have resulted in diminished functionality. In addition to the operational changes, the current residence does not support the family in providing for their own shopping, cooking, cleaning, and laundry.

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### WISE PUBLIC INVESTMENT

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Wise investment of public funds is a core value of the Legislature, and the process for exploring siting for a new governor’s residence has adhered to this fundamental principle. In seeking solutions to the shortcomings of the current residence, the Working Group recognizes that efforts to undercut the new facility’s budget will likely lead to future expenditures to rectify those shortcomings. This scenario is clearly demonstrated at the existing Wyoming residence and at the newly constructed North Dakota residence, which experienced cost-cutting efforts that resulted in diminished functionality of the facility. The Working Group is resolute in

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## PURPOSE AND BACKGROUND

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the desire to avoid being “penny-wise and pound foolish,” meaning that the cost of the facility should reflect sound design principles in creating a timeless and flexible governor’s residence designed to last generations.

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### ASSESSMENT OF CURRENT VALUE

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In preparation for evaluating the current residence for remodel or replacement, the Working Group identified a need to assess the current value of the facility. The Legislature authorized the sale of the facility in House Bill 0194, providing an opportunity to consider the value of the existing residence when evaluating alternative site development. An appraisal conducted June 28, 2018 by Accuvalue LLC, estimates the current market value range to be between \$1,450,000 and \$1,850,000. This is based on utilization of the 8.41-acres for commercial uses in proximity to Interstate 25.

Other public entities might find logical use for the property and buildings in the event an alternative location is selected. The property’s proximity to both Frontier Park and Lions Park make it a natural addition to activities hosted by the City of Cheyenne or Cheyenne Frontier Days.

In general, both Cheyenne Frontier Days and the City of Cheyenne may not be able to match the dollar value that could be generated via private sale of the property. Both have expressed an interest in a land exchange to account for the value. This type of arrangement might be feasible,

but the State has generally viewed the sale of the property to be a means of reducing the overall cost of a new governor’s residence at a new location.

One other assessment that could be made on the value of the property is as future development. Considering the prime location adjacent to the golf course and recreation amenities, it is possible that the current grounds could be more valuable subdivided into residential lots. Although a single-buyer might value the property “as-is” with the residence included, the potential market for residential sales of properties over \$1 million in the Cheyenne area is limited. Any potential buyer would likely also need to make extensive renovations to the current facility to accommodate current family lifestyles. Purchasing the site for the value of the land could be more lucrative than the value of the building, depending upon the density of construction.

# ROADMAP

# ROADMAP

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## **INTRODUCTION: THE GOVERNOR’S RESIDENCE WORKING GROUP**

Following the 2018 legislative session, the State Building Commission convened on April 18, 2018 and discussed the intent of House Bill 0194. It was determined that an informal committee would move forward with action items described in the legislation and that a Working Group would evaluate the alternative locations and components of the required study.

The Management Council met on April 19, 2018 and discussed the involvement of the Legislature’s leadership and how they could assist with the process. Four members of the Legislature, including two members from the Senate and two members from the House would join the Superintendent of Public Instruction (representing the SBC), a representative from the City of Cheyenne, and other at-large members to establish the Governor’s Residence Working Group.

During several meetings in the Spring of 2018, the Working Group identified that it would need assistance in generating and documenting the requirements outlined in the legislation. It was discussed that engaging the services of an urban planner with skills to facilitate the discussions necessary to make an informed recommendation would be a positive step. This professional would also be able assist in preparing graphic representations of the site development concepts and cost information.

Following State procurement procedures, the Working Group developed a request for proposal (RFP) to contract with a firm to provide the necessary services. Having received three (3) proposals from local firms, the Working Group interviewed two firms and ultimately selected Ayres Associates of Cheyenne as the planning team.

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## **VISIONING WORKSHOP**

Kicking off the facilitated discussions, the planning team hosted a Visioning Workshop to identify the goals of the process and explore the values that each member of the Working Group brought to the process. Through these discussions, members summarized the results they anticipated if a new governor’s residence is built:

- A structure that reflects the nature of public service of the occupant, that represents the values of the people of Wyoming
- A “timeless” building that will effectively serve generations for 100 years

When asked to describe the function of the report, responses included:

- A communication strategy which demonstrates the importance of the project
- A document that is comprehensive but not overwhelming

- A report that walks people through the considerations of the evaluation
- A project that meets the directives of the legislation
- A thoughtful and transparent process

In an effort to understand the various audiences who would use the information, the Working Group discussed the needs of the public and elected officials who would be using the report to make informed decisions. The goal of this report is to provide understanding of relevant issues, comparative data from the region, and recommendations which present a proud impression of Wyoming, while balancing the pragmatic values of its citizens.

**Philosophy of the “Public House”** – The discussion of any public facility begins with a definition of the function of the space. A governor’s residence inherently embodies tension between the public function associated with the office, and the need for privacy and respite necessary for families to thrive. Although changing attitudes toward the philosophy of where the governor’s residence lands on the spectrum of public and private functionality, one universal truth held true throughout the discussion – the desire for timeless design requires flexibility for adjustment over time. As documented later in this report, this perspective is reflected in the sites prioritized for consideration.

In considering lessons to be learned from peer states regarding the topic, one question came to mind. In this modern age, is it still necessary to provide a governor’s residence? Some states have struggled with executives who have chosen not to live in the state-provided residence, and some states do not provide a governor’s residence. Idaho provides a monthly housing allowance, enabling the governor to choose housing where they so desire.

**Is a Governor’s Residence Still Needed?** When considering the question of why a governor’s residence is provided, the Working Group appreciated the fundamental fact that the democratic process allows for people from broad economic and social conditions the opportunity to be elected by their peers. Without providing a residence, Wyoming might inadvertently be limiting the pool of possible leaders. Ultimately, the option of not providing a residence was considered by the Working Group as the prerogative of the people and not within the directive parameters assigned by the Legislature as part of this study.

Yet, the issue of quality rose during the discussion, indicating that the current Wyoming residence lacks the stately design and modern amenities that many elected officials may enjoy in their own private residence. As times have changed, expectations of “optional” features have changed. Much like walk-in closets and multi-car garages, the lifestyles of families have also evolved.

## ROADMAP

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The quality of a governor’s residence should be such that the facility demonstrates pride in the Cowboy State and the dignity of the office, measured with a dose of pragmatism. **Many would conclude that the current residence is overly pragmatic, leaving visitors with an impression that inaccurately reflects the heritage of Wyoming pride.**

The following pages describe the exploration process that the Working Group embarked upon to discover details about governor’s residences in the region and how sites in the Cheyenne area might be able to accommodate the functions necessary to comfortably house the First Family while serving as a dignified embodiment of the “People’s House.”

Following the explanation of Case Studies is a review of the primary sites evaluated by the Working Group.

After exploring numerous potential sites and configurations, development concepts illustrations show how a residence might fit onto each site. Finally, estimated costs are presented to enable a comparison of expenses across each site.

The final chapter presents a recommendation from the SBC for consideration during the 2019 Legislative Session.



# CASE STUDIES

## CASE STUDIES

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The Working Group identified that visiting area governor’s residences would be a helpful activity in benchmarking different configurations of facilities and how our neighbors address some of the issues being weighed in Wyoming. After exploring many options in the western United States, five sites (in addition to Cheyenne) were selected due to their varied styles and amenities. Prior to the tour, reference materials and research were provide by staff for each site and are summarized below. The tours took place July 23-25, 2018, with various members of the Working Group in attendance.

### CASE STUDY SITES

Carson City, Nevada

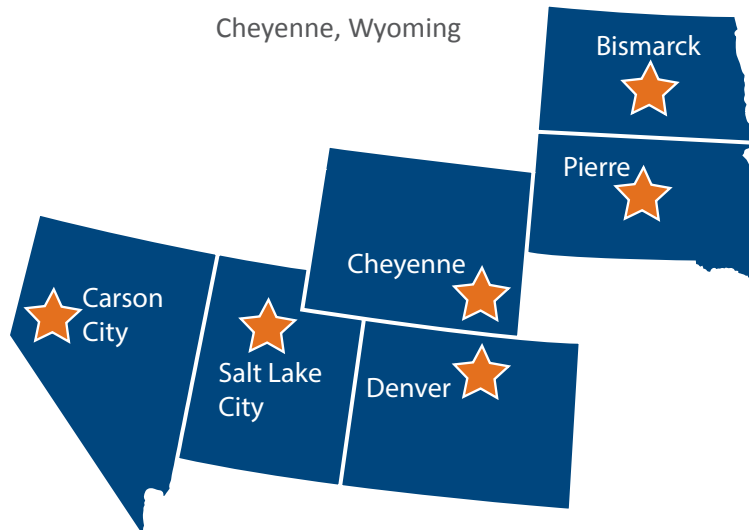
Salt Lake City, Utah

Bismarck, North Dakota

Pierre, South Dakota

Denver, Colorado

Cheyenne, Wyoming



### LESSONS LEARNED

- Do not reduce funding and functionality as occurred in the existing Wyoming residence and the North Dakota residence, which is particularly visible in the commercial kitchen in the basement where budget cuts led to a space lacking many commercial components and workspace needed to serve large events
- There is great wisdom in a committee process. Decisions must be timeless and supersede short-term preferences
- Ongoing maintenance needs must be considered and not viewed as an optional cost
- Anticipate flexibility in lifestyle, acknowledging that each occupant may have variations in family composition
- Staff are a wealth of knowledge when considering design elements related to the site, operations, and general infrastructure
- The tours provided the Working Group with a shared vocabulary regarding project elements to reference when considering positive and negative aspects of governor’s residence design

# CASE STUDY 1: CARSON CITY, NEVADA



The Governor’s residence in Carson City, Nevada is a remodeled historic mansion that was donated to the state. The grounds were originally 5 acres and are now about 2 acres in size. The property is located near the capitol complex within a historic neighborhood with old growth trees.

The property includes the main building, pictured above, a detached garage, a separate event building, a 3-bedroom cottage at the rear of the property, and large landscaped grounds for outdoor events. Notably, the property includes a number of security measures but remains very open-feeling to the rest of the neighborhood, in large part due to the lack of high or opaque fencing used for many other governor residences.

Quick Stats	
Location	0.5 miles from Capitol
Year Built	1909
Renovated	1967 1997
Renovations Started/ Finished	1967-1969 1997-1999
Estimated Cost of Renovations	1967: \$250,000 1997: \$5,000,000
State Allocated Renovation Funding	1967: \$79,000 1997: \$221,000 + \$163,000 for security improvements
Number of Floors	3
Total Area	9,000 square feet
Architectural Style	Classical Revival
Cost to Maintain Annually	\$115,000 last year for maintenance and utilities. Funded from Capitol Improvement Budget
Number of Employees	2 full-time employees, 4 community trustees, Capitol police officers

## CASE STUDY 1: CARSON CITY, NEVADA



**Above:** One of the main entertaining areas in the front of the home with historic furniture and artwork.

**Below:** The separate event space was designed in similar style to the main home and is used for larger, private events. Restrooms are attached.



### Public and Private Space Highlights

<b>Private Rooms and Facilities</b>	<ul style="list-style-type: none"> <li>• 7 bedrooms, 9 bathrooms</li> <li>• Living room , private kitchen, dining, living room, gym split between 3 floors</li> </ul>
<b>Separate Guest Area</b>	<p><b>Yes.</b></p> <ul style="list-style-type: none"> <li>• Separate 3-bedroom cottage</li> <li>• Separate 1-bedroom guest suite in the event building</li> </ul>
<b>Separation Between Public and Private Areas</b>	<p><b>By Floors</b> — The private family living quarters are on the second floor of the residence and living area in the basement. They can be accessed via the front main stair (rarely used), rear stairway, or rear elevator (both rear stair and elevator are off the kitchen). The family dining room is also on the main floor.</p> <p><b>By Building</b> — The main residence is separate from the public event space. Limited events do take place in the residence building on the main floor.</p>
<b>Public Rooms and Facilities</b>	<p><b>Residence</b> — Bar, dining and formal sitting rooms used for small group events hosted by governor.</p> <p><b>Public Event Building</b> — Commercial kitchen, laundry, event space with audio-visual set up, public restrooms</p>

## CASE STUDY 2: SALT LAKE CITY, UTAH



In the 1950s a new ranch-style residence was built, but in the 1970s the governor moved back to this historic residence. No additions to the building were made. This is the full-time residence for the first family. A fire destroyed a large part of the residence in 1993.

One of the most notable details of the residence is the extensive woodworking details. A 10-person team works for a week each year to polish all the wood detailing in the mansion to maintain and preserve these special details.

The property has many positive attributes including small and large event space, family space, ADA accessibility, and a beautiful stately appearance. The drawbacks include a less-than-ideal separation of public and private spaces and the lack of a private outdoor space for the family to enjoy out of the public eye.

### Quick Stats

<b>Location</b>	1.4 miles from Capitol
<b>Year Built</b>	1902
<b>Renovated</b>	1996 (Historic restoration)
<b>Renovations Started/Finished</b>	1993-1996 due to a fire
<b>Estimated Cost of Renovations</b>	Funded by insurance companies with deductible paid by the state
<b>State Allocated Renovation Funding</b>	N/A
<b>Number of Floors</b>	4
<b>Total Area</b>	12,000 square feet
<b>Architectural Style</b>	French Chateausque
<b>Cost to Maintain Annually</b>	\$152,156 for operations and maintenance
<b>Number of Employees</b>	1 full-time maintenance employee, 1 part-time groundskeeper

## CASE STUDY 2: SALT LAKE CITY, UTAH



**Above:** The third floor space is the main entertaining space for large events. Staff noted a stage at the front would be a positive addition to the space since one must be regularly brought in for events.



**Left:** View of the glass separation between the main floor and second floor living space.

### Public and Private Space Highlights

<b>Private Rooms and Facilities</b>	<ul style="list-style-type: none"> <li>• 8 bedrooms, 7 bathrooms</li> <li>• 2 kitchens, 2 living spaces, gym, dining split between two floors</li> </ul>
<b>Separate Guest Area</b>	<p><b>Yes - somewhat.</b></p> <ul style="list-style-type: none"> <li>• Guest suite in the garden level with a single bedroom attached closet and bath can be used for family or guests. Since it is somewhat in the private family area this suite is rarely used for a visiting dignitary.</li> </ul>
<b>Separation Between Public and Private Areas</b>	<p><b>By Floors</b> — The private areas in the garden level and on the second floor are separated with the main stairwell and by locked and keypad access doors. In the front area an open space balcony used to exist but was filled with glass to provide privacy.</p>
<b>Public Rooms and Facilities</b>	<p><b>Residence</b> — Ballroom on the third floor for large groups includes AV equipment, attached kitchen. Main floor areas for smaller parties includes formal dining and sitting areas with attached commercial kitchen.</p>

## CASE STUDY 3: BISMARCK, NORTH DAKOTA

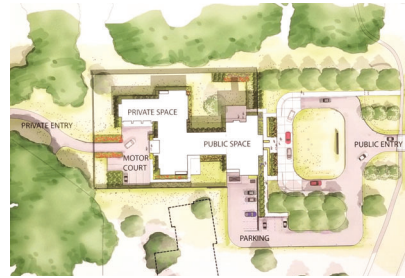


Constructed in 2018, this residence was approved by the Legislature in 2015. The current structure is the third governor’s residence. The first was a historic mansion used from 1893 to 1960. The second, adjacent to the present site, was used until construction was completed on the current residence and subsequently demolished. Issues of safety, building code, and privacy were major factors in approval for construction of the new building. The previous home was not fenced, was surrounded by trees that made security difficult, and had a master bedroom on the first floor at the front of the building.

The new residence was designed to maintain private space separate from the public and staffed areas. The public side is accessed from the capitol campus and is open for events with the governor. The private side is accessed via a residential street and gated to prevent walk-up or accidental access. Secure access within the building was also a key component of the building; even staff does not have access to the private side. One notable concern with this residence was that a reduction in funding occurred *after* design was complete, resulting in a loss of functionality in places like the commercial kitchen.

Quick Stats	
Location	Capitol Complex
Year Built	2018
Construction	Completed 2018
Renovations Started/Finished	New construction started 2016, completed 2018
Estimated Cost	\$5,000,000
State Allocated Funding	\$4,000,000 from Capitol Building Trust Fund; \$1,000,000 privately raised
Number of Floors	2
Total Area	13,700 square feet
Architectural Style	Modern Prairie
Cost to Maintain Annually	\$250,000 covers operation and maintenance including staff, maintenance, and utilities
Number of Employees	3 full-time employees: Residence manager, chef, housekeeper

## CASE STUDY 3: BISMARCK, NORTH DAKOTA



**Above:** Original design sketch for the building with separation of spaces in mind.



**Left:** Single washer and dryer units service the private residence and staff/public side of the operations.

### Public and Private Space Highlights

<b>Private Rooms and Facilities</b>	<ul style="list-style-type: none"> <li>• 4 bedrooms, 2.5 bathrooms</li> <li>• Living room, private kitchen, dining, private patio, offices, family /game and tv room in basement</li> </ul>
<b>Separate Guest Area</b>	<p><b>Yes - somewhat.</b></p> <ul style="list-style-type: none"> <li>• 2 bedrooms, 2 bathrooms downstairs (occasionally used as dignitary suites)</li> </ul>
<b>Separation Between Public and Private Areas</b>	<p><b>By Design</b> — The entire floorplan was designed with separation in mind. The only cross access between the two areas is with electronic card readers which only have limited number of staff approved to access.</p> <p>The entry for the family side and the quasi-public side are also separate with the family side gated for restricted access</p>
<b>Public Rooms and Facilities</b>	<p><b>Residence</b> — Semi-commercial kitchen, laundry, dining and living space for events, fenced patio and lawn, restrooms. Large events are held at the North Dakota Heritage Center</p>

## CASE STUDY 4: PIERRE, SOUTH DAKOTA



The current residence structure was completed in 2005. The site was previously used for the governor’s residence as early as 1925. A second structure was added in 1936, financed by the Works Progress Administration, and served as the residence until 2003 when it was sold to a private party and relocated to Rapid City, SD.

Funding for the current structure was done through private donations to the foundation and with in-kind donations. The building was laid out thoughtfully to maintain separation between public and private areas via wings of the home. A number of previous first spouses were consulted in the design stage, as well as staff, to ensure the small details were taken into account. The result is a highly functional home and public events space. Since construction, two particular changes would be desirable: a fence surrounding at least the private side, and additional separation between outdoor spaces for public and private areas.

### Quick Stats

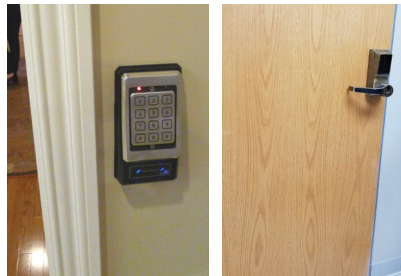
<b>Location</b>	Capitol Complex (shores of Capitol Lake)
<b>Year Built</b>	2005
<b>Construction</b>	Built new 2004-2005
<b>Renovations Started/Finished</b>	N/A
<b>Estimated Cost of Renovations</b>	\$4,000,000
<b>State Allocated Renovation Funding</b>	None. Funds were privately raised along with in-kind donations
<b>Number of Floors</b>	2
<b>Total Area</b>	14,000 square feet
<b>Architectural Style</b>	Tudor
<b>Cost to Maintain Annually</b>	\$38,000
<b>Number of Employees</b>	2 full-time employees: Residence Manager and groundskeeper

## CASE STUDY 4: PIERRE, SOUTH DAKOTA



**Above:** Patio area facing the lake and capitol buildings is used for large events. The bricks were laid around the existing old growth trees.

**Below:** Keypad access between public and private sides of the building.



### Public and Private Space Highlights

<b>Private Rooms and Facilities</b>	<ul style="list-style-type: none"> <li>• 5 bedrooms, 4 bathrooms</li> <li>• Kitchen, dining, living, game room, gym, garage, private patio and private balcony</li> </ul>
<b>Separate Guest Area</b>	<p><b>Yes.</b></p> <ul style="list-style-type: none"> <li>• 2 guest suites on the second floor of the semi-public side of the building</li> </ul>
<b>Separation Between Public and Private Areas</b>	<p><b>By Side of Building</b> — The main stairwell by the public entrance leads to a main landing on the second floor. One side of the landing is a closed, locked, keypad accessed doorway leading to the private residence.</p> <p>The other side of the landing leads onto a balcony living area overlooking the formal dining room and a hallway to the additional guest rooms.</p>
<b>Public Rooms and Facilities</b>	<p><b>Main Building</b> — Commercial kitchen, laundry, staff offices, storage areas, main entertaining area— dining room with AV capabilities, multiple seating areas. Outdoor patio is regularly used for large events.</p>

## CASE STUDY 5: DENVER, COLORADO



This beautiful residence is referred to as “Colorado’s Home” in keeping with the idea that it belongs to the people of Colorado. This is also reflected in the number of public tours and events that occur in the main building and ancillary buildings. Constructed in 1908 and used as a private home, the dedication and first use as a governor’s residence was in 1961. The historic mansion features antiques, artwork, furniture, and recreations where originals were not available to tell the story of its past. These rooms and pieces are open and on display for events and can also be viewed on the virtual tour website.

The original carriage house was renovated and expanded in 2006 to allow for additional events and use. An estimated 140 events take place on the site each year, with no requirement for the governor to host or be party to them, with government and non-profit groups able to rent the space at a very low cost.

Quick Stats	
<b>Location</b>	Capitol Hill neighborhood, 6 blocks from State Capitol building
<b>Year Built</b>	1908
<b>Renovated</b>	1960 and 1980 In 2006, carriage house and additional event space
<b>Renovations Started/ Finished</b>	2005-2006
<b>Estimated Cost of Renovations</b>	\$3,500,000 (carriage house and additions)
<b>State Allocated Renovation Funding</b>	None. Grants and privately raised funds were used
<b>Number of Floors</b>	3
<b>Total Area</b>	26,000 square feet
<b>Architectural Style</b>	Colonial Revival
<b>Cost to Maintain Annually</b>	Operating budget is \$220,000; regular costs are closer to \$170,000
<b>Number of Employees</b>	1 full-time employee (Residence Director)  2 part-time employees (Assistant to Residence Director, and Housekeeper)

## CASE STUDY 5: DENVER, COLORADO



**Above:** The stairwell viewed from the third floor down to the first floor and main point of entry into the home for guests, staff, and residents.

**Below:** Carriage House converted into a portion of a venue with patio space.



### Public and Private Space Highlights

<b>Private Rooms and Facilities</b>	<ul style="list-style-type: none"> <li>• 8 bedrooms, 6 bathrooms</li> <li>• Private kitchen, dining, living, office</li> </ul>
<b>Separate Guest Area</b>	<b>No.</b> All bedrooms are in the same “private area”
<b>Separation Between Public and Private Areas</b>	<p><b>By Floors</b> — The separation between public and private space is not conducive to operation as a family home, especially with children, and the number of public events occurring in the same building. The second and third floor are for the family with the main floor and basement for public and staff use. The stairwell is open to the living areas leaving little separation, noise cancelling, privacy or security other than a guard standing at the base of the stairwell, to create the impression there are two separate spaces.</p> <p><b>By Building</b> —The main residence is separate from additional public event space.</p>
<b>Public Rooms and Facilities</b>	<p><b>Residence</b> — Commercial kitchen, bar, formal dining and sitting rooms with 1 bathroom; commercial laundry in the basement</p> <p><b>Event Building</b> — Commercial kitchen, event space with AV set up, restrooms</p>

## CASE STUDY 6: CHEYENNE, WYOMING



Based on a 1971 study, the current residence was approved and construction completed in 1976. The prior governor’s residence was a historic mansion built in 1904 that is used today as a museum and is open for tours. Originally constructed for use with a larger staff, the current residence lacks some needs for family functions, for example, a laundry room.

The current residence also has significant safety and privacy concerns. Public spaces and private areas are not well separated and private areas of the home are easily visible from the grounds and public areas. In order to address some of these concerns, the state commissioned a study to renovate the public side of the residence.

Quick Stats	
<b>Location</b>	Golf course and interstate adjacent. Approximately 2 miles from Capitol buildings.
<b>Year Built</b>	1976
<b>Renovated</b>	New bar area added in 2016
<b>Renovations Started/ Finished</b>	No major renovations
<b>Estimated Cost of Renovations</b>	\$250,000 privately raised
<b>State Allocated Renovation Funding</b>	None
<b>Number of Floors</b>	1, plus basement
<b>Total Area</b>	8,181 square feet main level 4,695 square feet basement 12,876 square feet total
<b>Architectural Style</b>	Ranch
<b>Cost to Maintain Bi-annually</b>	\$573,621 (2016-2017)
<b>Number of Employees</b>	1 full-time employee (Residence Director) 1 part-time employee (cook/ housekeeper)

## CASE STUDY 6: CHEYENNE, WYOMING



**Above:** The main dining area for the family, with windows and patio doors onto the patio and grounds. The shades are kept closed for privacy.



**Left:** The bar on the public side used for events. The area was remodeled for the bar use in 2016 using private foundation funds.

### Public and Private Space Highlights

<b>Private Rooms and Facilities</b>	<ul style="list-style-type: none"> <li>• 5 bedrooms, 4 bathrooms</li> <li>• Private kitchen, dining, living rooms</li> </ul>
<b>Separate Guest Area</b>	<p><b>Yes.</b></p> <ul style="list-style-type: none"> <li>• The guest suite is located off the hallway by the public space</li> </ul>
<b>Separation Between Public and Private Areas</b>	<p><b>By Side of Building</b> — The separation between public and private space is not conducive to operation as a family home, especially with children.</p> <p>Within the building, residential doors and standard keyed locks separate the staff access and public areas from the private side.</p>
<b>Public Rooms and Facilities</b>	<p><b>Residence</b> — Bar, dining and formal sitting rooms, restrooms, commercial kitchen, laundry, large grounds and outdoor patio.</p>

# SITE EVALUATIONS

## SITE EVALUATIONS

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To begin the process of identifying at least three sites to review and evaluate per the requirements of 2018 House Bill 0194, Working Group members informally suggested several dozen potential sites and brought the most promising locations to the group to consider. The group then devised a ranking system to prioritize the most favorable locations. Properties were categorized into scenarios that presented unique characteristics for the governor's residence and aid in narrowing the field. The scenarios analyzed included:

**Existing Governor's Residence:** While the existing location of the residence represents an asset of the State, benefits from established landscaping, and is reasonably accessible to downtown, the residence itself is inadequate. Renovation and/or additions to the current facility could provide for an economical alternative for consideration.

**Traditional Downtown and Capitol Complex:** This scenario examined several potential locations within the traditional downtown and in the Capitol Complex. Sites are smaller in acreage, resulting in a need to locate adjacent parking options nearby. This scenario requires new construction, but is closely linked with the Historic Renovation scenario that considers remodeling existing structures.

**In City – New Location:** This scenario examined several potential locations within the urban area of Cheyenne. The preferred locations tended to be properties with open views that would present a positive image of the State, while allowing a design that is less constrained by the traditional downtown street grid.

**Rural Ranch:** This scenario considered placement of the residence in a rural environment, reflecting the heritage and open spaces of Wyoming. Balancing a location that is somewhat removed from the urban area, yet still visible to the public would be ideal. Communicating the values and uniqueness of the State to visitors could be achieved in an impressive manner, reflecting Wyoming's heritage. This scenario would require more land and infrastructure investment than the other scenarios.

**Historic Rehabilitation:** This scenario examined several potential locations within the traditional downtown where current historic structures could be renovated and/or additions made to accommodate additional modern functions. Historic structures provide a link to Wyoming's history and a presence that is often difficult to replicate in modern construction. Locating a structure with sufficient land availability may be a challenge, and modernizing historic properties may be complicated by preservation regulations. Sites will require adjacent parking options nearby.

## SITE TOURS

Members of the Working Group toured the community and visited the possible sites to identify potential benefits and drawbacks of each site. The Working Group researched including utility availability, ownership, zoning, and access of each site.

The sites formally evaluated included:

### CURRENT SITE

A. 5001 CENTRAL AVENUE

### TRADITIONAL DOWNTOWN

B. PIONEER SITE—2512 PIONEER AVENUE

C. ST. MARY'S SITE—107 W. 25TH STREET

D. HISTORIC GOVERNOR'S MANSION BLOCK—22ND & HOUSE

### IN CITY—NEW CONSTRUCTION

E. SOUTHEAST LIONS PARK

F. CENTENNIAL PARK

G. STATE OWNED LAND (MUSTANG RIDGE)

H. STORY BOULEVARD LAND

### RURAL RANCH

I. NORTH OF LITTLE AMERICA

J. PRAIRIE WIND LAND TRUST

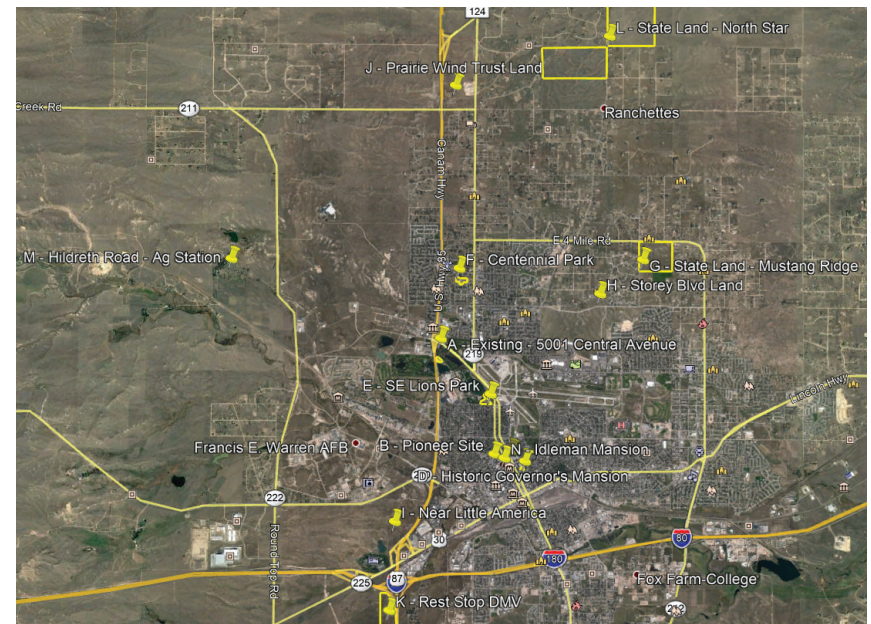
K. REST STOP / DMV INTERCHANGE

L. STATE OWNED LAND (NORTH STAR)

M. HILDRETH ROAD STATION

### HISTORIC REHAB

N. IDLEMAN MANSION—2323 CAREY AVE



Evaluated Sites Map

# SITE EVALUATIONS

## EVALUATING OPPORTUNITIES & CONSTRAINTS

The Working Group developed a matrix to explore the relative benefits and drawbacks of each site and to eliminate all but the most favorable locations. The sites were considered based on 14 different evaluation factors, which included location, security, cost, and function.

Based on this information, the top sites were:

Site A - Current Site

Site B – Pioneer Ave

Site C – St. Mary’s

Site D – Historic Governor’s Mansion Block

Site N – Idleman Mansion

At right: Example of site evaluation report. See pages 43-44 for full size.

### B. PIONEER SITE—2512 PIONEER AVENUE

<b>ACRES</b>	3.7 acres—one city block
<b>ZONING</b>	MUB—Mixed Use Business. Lots facing O’Neil are MR-Medium Density Residential.
<b>UTILITIES</b>	Available proximate to the site. May have tap credits.
<b>PARKING</b>	Full block to accommodate on-site + State parking structure adjacent
<b>CURRENT OWNERSHIP</b>	State of Wyoming. One private lot on the SW corner of 25th and O’Neil by Joe Saenz
<b>LAND USE</b>	Newly constructed parking lot for state buildings. Previously the Safeway grocery store.



**SECURITY CONSIDERATIONS**

Consideration should be given to installing a security fence/wall installed around the perimeter. There is moderate vehicle traffic and low foot traffic volume at this location. Proximity to Capitol is a plus, along with quick response for emergency services. One public entrance at front of public side and one private entrance on private side of residence would be optimal. Potential need for additional travel lanes near and into residence. This site may allow the constructed facility to be offset from the fence to allow a distance between where the family will park a personal vehicle and the gate. This location also has a state parking structure nearby which could provide an elevated position over the residence, but also a shelter in case of an emergency, and secured parking for Residence events.

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### B. PIONEER SITE—2512 PIONEER AVENUE

<b>PROS</b>	<ul style="list-style-type: none"> <li>Site is proximate to the Capitol.</li> <li>Currently State Owned.</li> <li>Direct view of Capitol.</li> <li>Mix of Commercial &amp; Residential Neighbors (Use will not likely exceed historic activity.)</li> </ul>
<b>CONS</b>	<ul style="list-style-type: none"> <li>Site was recently the subject of recent parking lot construction investment. Some of the improvements may need to be eliminated to configure the site adequately to accommodate a residence.</li> </ul>
<b>OBSERVATIONS</b>	<ul style="list-style-type: none"> <li>Site would be a logical choice due to proximity and ownership.</li> <li>Property was previously considered for a state office building.</li> <li>Environmental considerations may limit options for basement.</li> </ul>



**Utility Details:**  
 4" water on all sides,  
 9" sewer on east,  
 12" sewer on west,  
 6" sewer on south

**Legend:**

- Storm Sewer Pipe
- - - Storm Sewer Channel
- Water Pipe
- Sanitary Sewer
- Water Body outline
- Contours

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## SITE EVALUATIONS

Upon further discussion to help in narrowing the scope of investigation, discussion regarding the suitability of the Idleman Mansion to serve the needs of the governor’s residence was questioned. Although the property scored high due to its proximity to the Capitol, the structure has multiple drawbacks, including accessibility issues. The facility has been renovated and enlarged and would require considerable alteration to function once again as a residence. The site is constrained by adjacent State facilities, including the Kendrick Building. It was the consensus of the Working Group to eliminate the Idleman Mansion from consideration.

The Working Group proceeded to develop concept sketches for how the public and private elements of the facility could be accommodated on the remaining sites. These concepts were based on space program assumptions that are crucial to keep in mind when reviewing the illustrations.

Once three sites (plus the existing residence) were identified, the process focused on selecting the best location for the governor’s residence. Building footprints have been scaled to illustrate a square footage of a potential building.

After considering the deficiencies of the existing residence, the possibility of first families of various compositions and sizes, residences toured, modern family lifestyles and the dignity of the office, the Working Group established criteria to consider when designing the residence.

The minimum size of the family residence is no less than 8,000 square feet as reflected in the following conceptual private residence design program:

Private Residence Space	Number	Unit Area	Total Area
Entry	1	200	200
Great Room	1	900	900
Rec Room/Bar	1	600	600
Kitchen	1	400	400
Pantry	1	100	100
Breakfast Area	1	225	225
Dining Room	1	450	450
Laundry	1	150	150
Master Bedroom	1	300	300
Master Bath	1	150	150
Other sleeping rooms	6	150	900
Other bathing/toilet	4	40	160
Private Office/Nursery/ Flex	1	150	150
Storage	1	300	300
<b>Subtotal</b>			<b>4985</b>
Grossing Factor	30%		1496
<b>Total Residence</b>			<b>6481</b>
Four Car Garage	1	1500	1500
<b>Total + Garage</b>			<b>7981</b>

## SITE EVALUATIONS

Each site is unique in constraints and opportunities, but generally scaled to accommodate the following:

### Private Space

- +/- 8,000 square feet
- 4-bay garage
- Private vehicle access

### Public Space

- +/- 12,500 square feet
- Event seating for +/- 150 visitors
- Includes Guest Quarters for visitors

Nearly all modern governor’s residences have developed and expanded public space on residential grounds. All of the residences toured had expansive public space.

Nevada, North Dakota, South Dakota and Colorado all have recent construction and landscaping projects built to accommodate indoor and outdoor public space needs. The minimum size of the public space is no less than 12,500 square feet as reflected in the conceptual public space program at right and on the following page.

The following pages provide the Site Evaluation reports for the identified properties along with a Site Development Concept. These initial concepts

Space	Number	Unit Area	Total Area
<b>Public</b>			
Reception	1	400	400
Coats	1	80	80
Living Room	1	900	900
Dining Room	1	2015	2015
Small Dining/Conference	1	500	500
<b>Guest Quarters</b>			
Guest Bedroom	2	250	500
Guest Bathroom	2	120	240
<b>Administrative Space</b>			
First Lady’s Office	1	200	200
Residence Manager Office	1	180	180
Flex Office	1	150	150
Chef Office	1	100	100
Maintenance Office	1	100	100
Security Office	1	160	160
Workroom/Supplies/Files	1	150	150
<b>Kitchen and Related</b>			
Kitchen	1	600	600
Catering/China Storage	1	120	120
Catering Support	1	120	120
Dry Storage	1	80	80
Storage (Event Support)	1	180	180
Storage (Tables and Chairs)	1	300	300
Dispensing/Serving	1	200	200
Receiving	1	100	100

*chart continues on following page*

## SITE EVALUATIONS

Space	Number	Unit Area	Total Area
<b>Building Support</b>			
Public Restrooms	2	180	360
Exterior Access to Restroom	2	70	140
Staff Restrooms	1	70	70
IT/AV Equipment	1	120	120
AV Conference Support	2	45	90
Elevator	2	100	200
Elevator Equipment Room	1	100	100
Mechanical/Electrical Room	1	1000	1000
Electrical Room	1	150	150
<i>Subtotal</i>			<i>9,605</i>
Grossing Factor	30%		2,882
<b>Total</b>			<b>12,487</b>

have been based on several assumptions regarding each location, along with background information available from prior studies. The conceptual building footprint and arrangement on the site does not represent a specific design. For each site, keep the following in mind:

**A—Existing Residence:** The illustration assumes the addition of a public space as was generally designed in the 2008 study. A new stand-alone residence could be designed as multiple stories to accommodate the desired square footage.

**B— Pioneer:** Assumes a 2-story residence, separated from the public space. A stand-alone guest quarters could also be constructed on the site.

**C— St. Mary’s:** This site illustration assumes a 3-story (minimum) building to accommodate sufficient square footage to accommodate all of the uses within one building.

**D— Historic Mansion:** This site assumes the residence is constructed with similar massing as the historic mansion, utilizing a similar footprint for a multi-story building. Two options are presented - one with a minimum amount of property acquired and a second that considers purchase of the entire block.

### COST ESTIMATES – ASSUMPTIONS

The reliability of estimating costs for a building that has not been designed is limited to per square foot costs. Although some large items may be evident at this time, other specific costs require more information.

Several assumptions or considerations about construction cost, property acquisition and sale, utilities, other site improvements, and security should be kept in mind:

# SITE EVALUATIONS

**CONSTRUCTION:** For the construction costs, the estimate used a per square foot average cost for construction. This amount could shift up or down depending upon the quality of the finishes selected. The greatest influence on this number is the total amount of square feet constructed. Based on analysis from the State Construction Department and in consultation with several professionals in the architectural design field, the estimated per square foot costs are:

	Low Estimate	High Estimate
Remodel - Existing Public Space	\$200	\$300
New Construction - Public Space	\$350	\$400
Remodel - Existing Residence	\$200	\$300
New Construction - Residence	\$300	\$400

**PROPERTY ACQUISITION/SALE:** Three of the sites have no acquisition costs required because the properties are owned by the State. The sale of the current governor’s residence property has been authorized by the Legislature. The property has an appraised value of \$1.45-\$1.8 million. Should the property be sold, this amount could be considered as part of the total project budget.

This study does not explore the value of the other State property locations for other future uses.

For Site B – Pioneer Avenue and Site D – Historic Governor’s Mansion the property estimates were based on verbal discussions with property owners and/or online resources including the County Assessor’s valuation.

**UTILITIES:** The selected sites are all located in areas of the City that have been previously developed, with minimal new utility extensions required to service the properties. New residential taps will require Cheyenne Board of Public Utilities System Development Fees for water (1” tap) at approximately \$14,000 and sewer (1.5” tap) at \$7,500.

Commercial construction system development fee rates are higher at \$60,000 (2” tap) for water and \$13,500 (2” tap) for sewer. This would likely be the rate for the public space since construction would be more of a commercial nature. Each separate building would be required to have its own connection and fees paid. Service line connections are estimated at \$5,000 per building.

# SITE EVALUATIONS

Utility Cost Table: Service Lines and System Development Fee Estimates				
Location	Site A - Current Site	Site B - Pioneer	Site C - St. Mary's	Site D - Historic Gov. Res.
New Residence	\$21,500	\$21,500	-	\$21,500
Service Line	\$5,000	\$5,000	-	\$5,000
Building 2 (Public)	\$73,500	\$73,500	\$73,500	\$73,500
Service Line	\$5,000	\$5,000	\$5,000	\$5,000
Building 3 (Guest)	-	\$21,500	-	-
Service Line	-	\$5,000	-	-
<b>Total Estimate</b>	<b>\$105,000</b>	<b>\$131,500</b>	<b>\$78,500</b>	<b>\$105,000</b>

**OTHER SITE IMPROVEMENTS:** Other improvements could include on-site parking lots, landscaping, and demolition of existing structures. These categories of improvements can be estimated. However, other elements may be more difficult to estimate based on the limited amount of data that is currently available. Specifically, there may be some level of environmental remediation associated with construction at site B – Pioneer Avenue based on the known plume in the area. Mitigation could include vapor barriers or other measure that cannot be defined at this time.

For surface parking, this report estimates \$2,000 per space on the low side and \$3,000 on the high side.

For landscaped areas, including plants, trees, planting soil and mulch is estimated at a rate of \$35-\$50 per square foot. Turf areas would cost

approximately \$3-\$5 per square foot. The cost estimate is dependent upon how much of the area is formally landscaped versus treated with turf. A landscape architect provided a low and high estimate based on the concept sketches provided. Again, specific design features and amenities could result in an increase of this number once specific designs are created.

For demolition of buildings, costs could vary significantly depending upon unique factors. For instance, if asbestos is present, costs will increase significantly. At this time, based upon recent estimates for similarly situated buildings, a value of approximately \$30,000-\$40,000 per building has been estimated.

**SECURITY:** Security is a key factor in determining the suitability of the final sites. For costs, this report does not analyze staffing levels, but is

focused on the elements that can be compared between sites. While operational efficiencies can be realized by placing the residence nearer to the Capitol, the costs analyzed are related specifically to the site configurations. The analysis assumes that all of the new facilities will be upgraded to include the latest technology. This comparison focused on the cost of perimeter security only.

Fencing has been estimated for the existing governor's residence at \$255/ linear foot. This design includes short stem wall upon which the fencing is built atop. The fencing contemplated is wrought-iron.

For Site A – Current Site, the low estimate assumes providing enhanced perimeter around only the new residence building. The high estimate secures the entire property.

All other sites consider perimeter fencing around the entire property.

Probable construction costs for the project have been studied at a very high, preliminary level for this report. Estimating at this stage of the project can therefore be highly variable. The cost specifics are less reliable at this stage of the project in that many significant decisions not yet made will affect these costs. Nonetheless, for the scope and quality expressed, the range of estimated costs is appropriate for planning purposes.

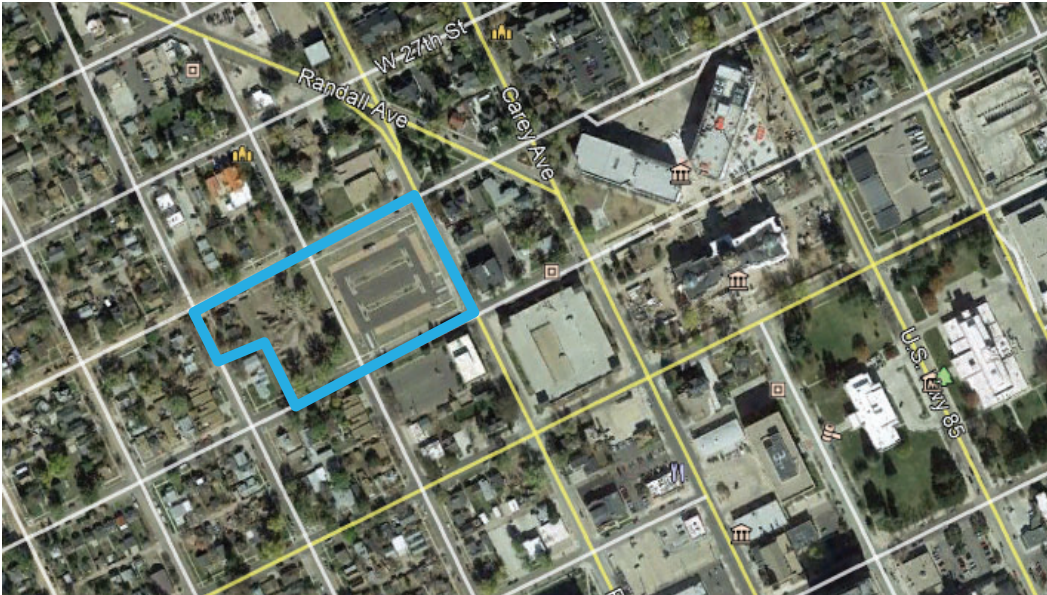
Construction costs do not include all project costs. A project budget must be assembled to include management costs, contingency funds, professional fees, utility fees, temporary facility needs, furnishings and equipment, moving and other costs. These costs vary significantly among owners and will be developed further by the State Construction Department. For preliminary planning purposes, project costs are projected to be up to an additional 34%.

# SITE EVALUATIONS: TOP SITES

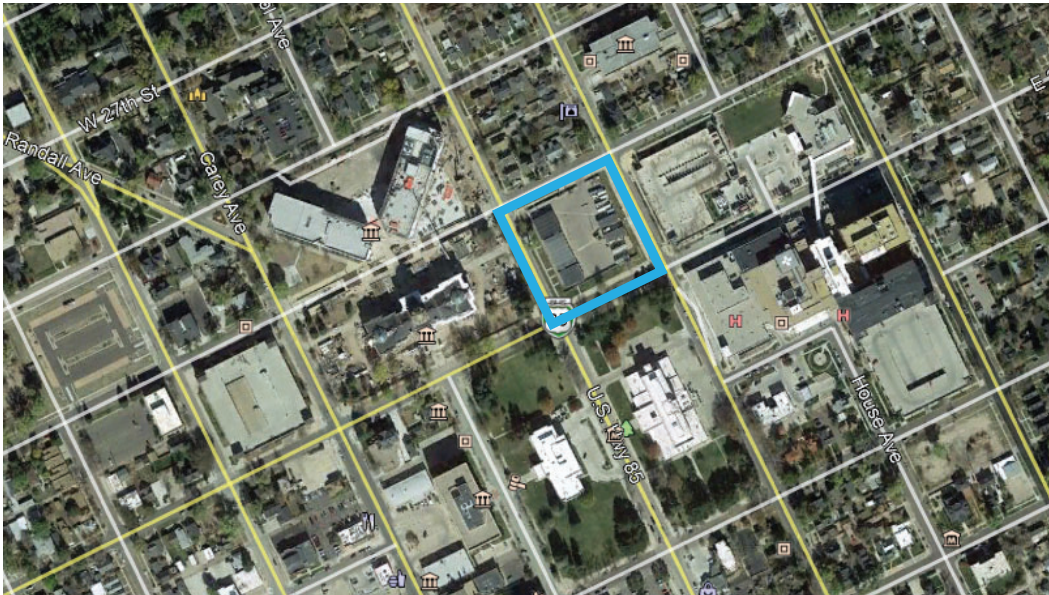


A: Current Site -- 2001 Central Avenue

B: Pioneer Site -- 2512 Pioneer Avenue



SITE EVALUATIONS: TOP SITES



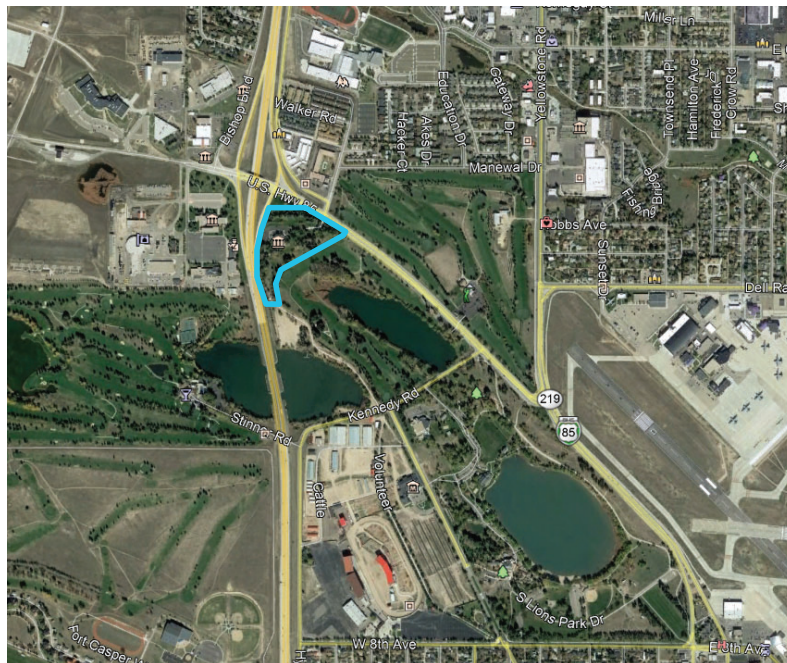
C: St. Mary's Site -- 107 W. 25th Street

D: Historic Mansion -- 22nd & House



## SITE EVALUATIONS: CURRENT SITE

<b>ACRES</b>	8.41 acres
<b>ZONING</b>	P – Public. Property is surrounded by highway and interstate, and adjacent properties zoned Public.
<b>UTILITIES</b>	Existing on-site
<b>PARKING</b>	Existing staff and limited visitor parking on site. Room for additional parking available.
<b>CURRENT OWNERSHIP</b>	State of Wyoming.
<b>LAND USE</b>	Existing governor’s residence and grounds



## SITE EVALUATIONS: CURRENT SITE

<b>PROS</b>	<p>Currently State owned.</p> <p>Large property.</p>
<b>CONS</b>	<p>Location adjacent to interstate, highway, and public golf course makes this a difficult property to secure.</p> <p>Current facilities are lacking security and privacy basics for a public-private site.</p>
<b>OBSERVATIONS</b>	<p>Even with additional improvements to the site, privacy and security may be a concern.</p>

### LEGEND

- Storm Sewer Pipe
- ⋯ Storm Sewer Channel
- Water Pipe
- Sanitary Sewer
- Water Body Outline
- Contours

### UTILITY DETAILS

Water and sanitary sewer into site from northeast.



## SITE EVALUATIONS: CURRENT SITE

STATE FUNCTIONS ACCOMMODATION	PUBLIC FUNCTIONS ACCOMMODATION	FAMILY FUNCTION ACCOMMODATION
Room for commercial kitchen?	Room/frontage for separate entrance for public vs. family function?	Room for multiple bedrooms (family, children, guests)?
<b>Yes.</b> Commercial kitchen in current building, recently upgraded.	<b>Somewhat.</b> The property features two points of access with either serving as public or private.	<b>Yes.</b> The existing residence includes 3 bedrooms and a guest suite.
Room for large dining room?	Room for parking to serve public function?	Room for a family sized kitchen/laundry/living space?
<b>Yes.</b> Existing dining area seats 40, with additional area to accommodate up to 58 (total).	<b>Minimally.</b> The parking on the site is limited to staff area, two small bulb outs, and along the driveway.	<b>Somewhat.</b> The kitchen and living space are adequate size. The laundry facility for the family was an afterthought and is not convenient for regular use.
Room for parking for 150 vehicles?	Convenient location for public functions?	Privacy?
<b>No.</b> Current site parking allows for approximately 15 vehicles including staff. Adjacent lot available to the south.	<b>Somewhat.</b> The site is located in town, but is not adjacent to Capitol.	<b>Poor.</b> The main floor space is very open to the property and access points, creating a fishbowl effect for the occupants.

DEVELOPMENT CONSTRAINTS	EXISTING LAND USE
Privacy is an issue. The residence and many rooms face the public spaces within the site, making normal family functions and comfort of use difficult at best.	Governor's Residence and event space
	Adjacent park spaces provide options for site reconfiguration
Noise level at the site is problematic. The highway and roadway noise is very noticeable throughout the site.	

## SITE EVALUATIONS: CURRENT SITE

### KEY COMPONENTS EXPLORED

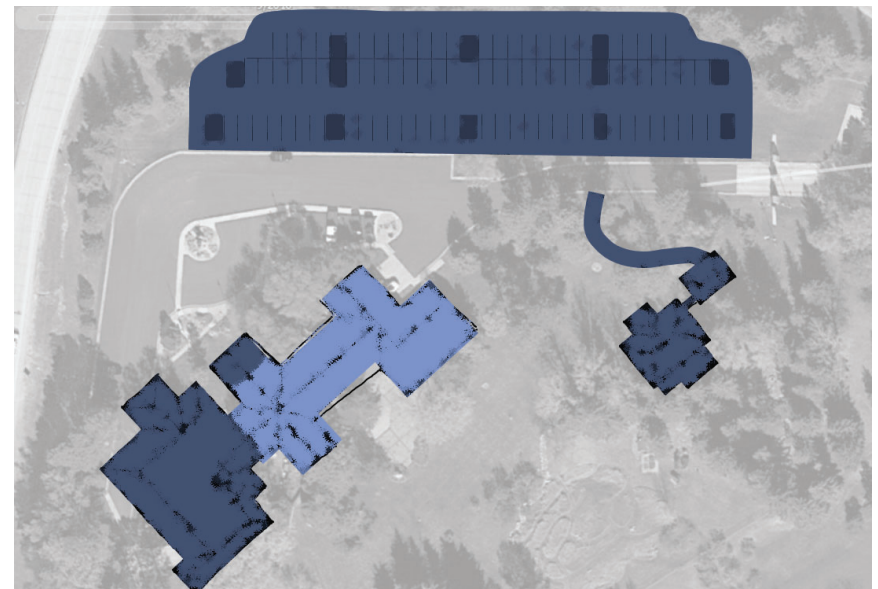
- New Residence Constructed On Site (Detached)
- 4-Car Carriage House
- Existing Residence Converted to Guest Quarters
- Utilize 2008 Program for Public Space Addition
- Add 50+ Space Parking Lot

Early design concepts used the expansion plans that were generated in 2008 for the public space (at right). Rather than remodel the existing residential space, construction of a new residence could take place without impacting the current facility. This phasing approach would eliminate the need for a temporary residence. Additional parking on-site would accommodate larger events.

Subsequent concept refinements included secluding the residence, while also providing a higher level of fencing and security around a smaller perimeter. Fencing could be solid, providing for privacy from the adjacent golf course.



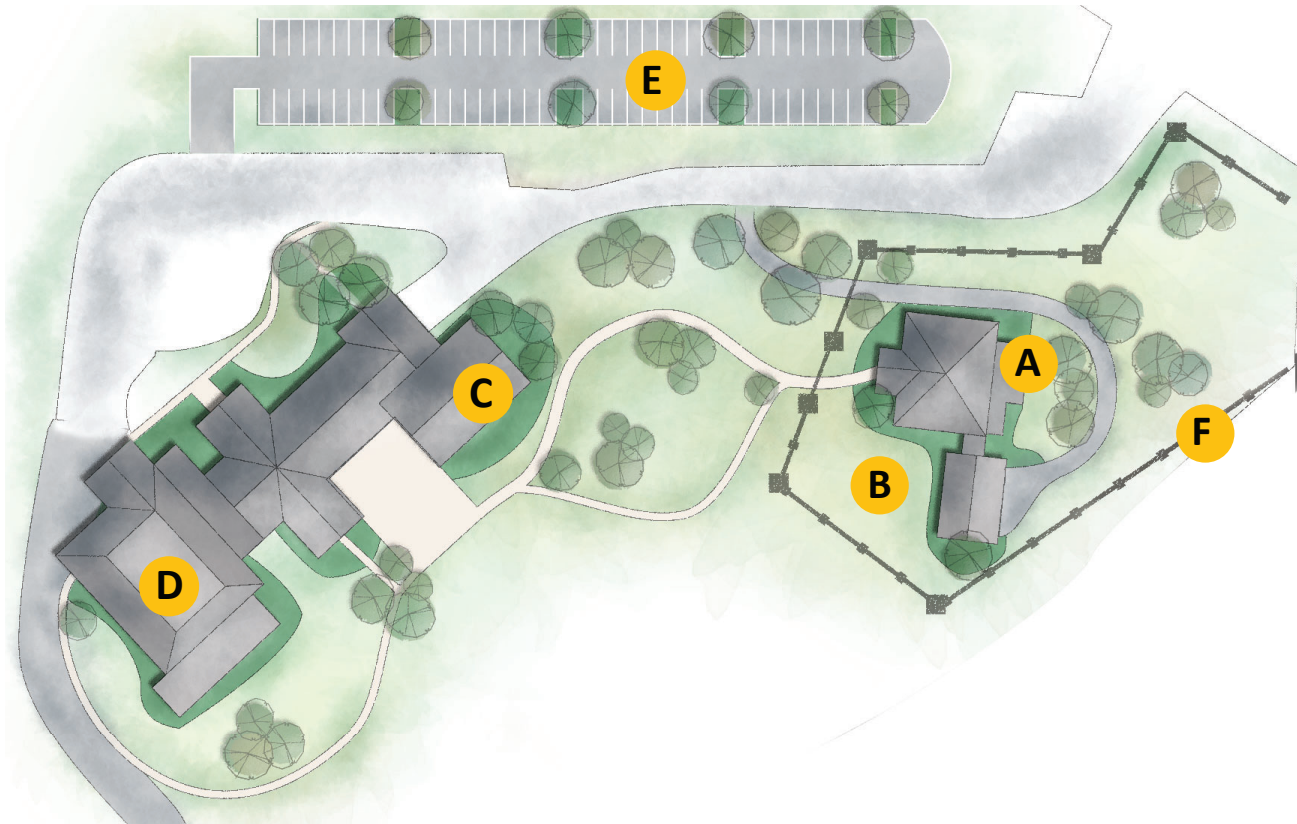
*Above: Illustration of 2008 public space addition to current residence developed by Architectural Means, PC  
Below: Early site design concept for current site*



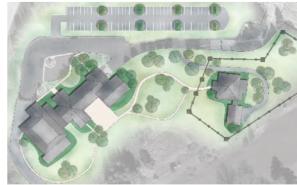
## SITE EVALUATIONS: CURRENT SITE

### KEY COMPONENTS

- A** New Residence Constructed On Site (Detached)
- B** 4-Car Carriage House
- C** Existing Residence Converted to Guest Quarters
- D** Utilize 2008 Program for Public Space Addition
- E** Add 50+ Space Parking Lot
- F** Enhanced Fencing Around Residence Only



# SITE EVALUATIONS: CURRENT SITE



## SITE - A: CURRENT SITE

		Item
<b>CONSTRUCTION</b>		
1		Public Space
2		Private Residence
<b>PROPERTY ACQUISITION</b>		
3		Property Purchase/Acquisition
<b>UTILITIES</b>		
4		Service Lines + System Development Fees
<b>SITE IMPROVEMENTS</b>		
5		Parking Lot, Sidewalks, Driveway
6		Landscaping, Site Furnishings
7		Demolition
<b>SECURITY</b>		
8		Security Fencing System

LOW COST			
Qty.	Unit	Unit Cost	Item Total
12500	SF	\$ 350.00	\$ 4,375,000
8000	SF	\$ 300.00	\$ 2,400,000
<b>SUBTOTAL</b>			<b>\$ 6,775,000</b>
		\$ -	\$ -
<b>SUBTOTAL</b>			<b>\$ -</b>
1		\$ 24,000.00	\$ 24,000
<b>SUBTOTAL</b>			<b>\$ 24,000</b>
			\$ 256,888
			\$ 137,687
8896	SY	\$ 3.00	\$ 26,687
<b>SUBTOTAL</b>			<b>\$ 421,262</b>
1000	LF	\$ 255.00	\$ 255,000
<b>SUBTOTAL</b>			<b>\$ 255,000</b>

HIGH COST			
Qty.	Unit	Unit Cost	Item Total
12500	SF	\$ 400.00	\$ 5,000,000
8000	SF	\$ 400.00	\$ 3,200,000
<b>SUBTOTAL</b>			<b>\$ 8,200,000</b>
		\$ -	\$ -
<b>SUBTOTAL</b>			<b>\$ -</b>
1		\$ 105,000.00	\$ 105,000
<b>SUBTOTAL</b>			<b>\$ 105,000</b>
			\$ 402,285
			\$ 297,564
8896	SY	\$ 8.00	\$ 71,164
<b>SUBTOTAL</b>			<b>\$ 771,013</b>
3800	LF	\$ 255.00	\$ 969,000
<b>SUBTOTAL</b>			<b>\$ 969,000</b>

### CONSTRUCTION SERVICE SUBTOTAL

**SUBTOTAL \$ 7,475,262**

**SUBTOTAL \$ 10,045,013**

PROJECT DELIVERY/OWNER'S COSTS		
A		Owner's Overhead
B		Design Services
C		Equipment, Furnishings, Relocation
D		Contingency

4%		\$ 299,010
9%		\$ 695,199.34
1%		\$ 74,752.62
9%		\$ 672,773.55
<b>SUBTOTAL</b>		<b>\$ 1,741,736</b>

4%		\$ 401,801
9%		\$ 934,186.25
1%		\$ 100,450.13
9%		\$ 904,051.21
<b>SUBTOTAL</b>		<b>\$ 2,340,488</b>

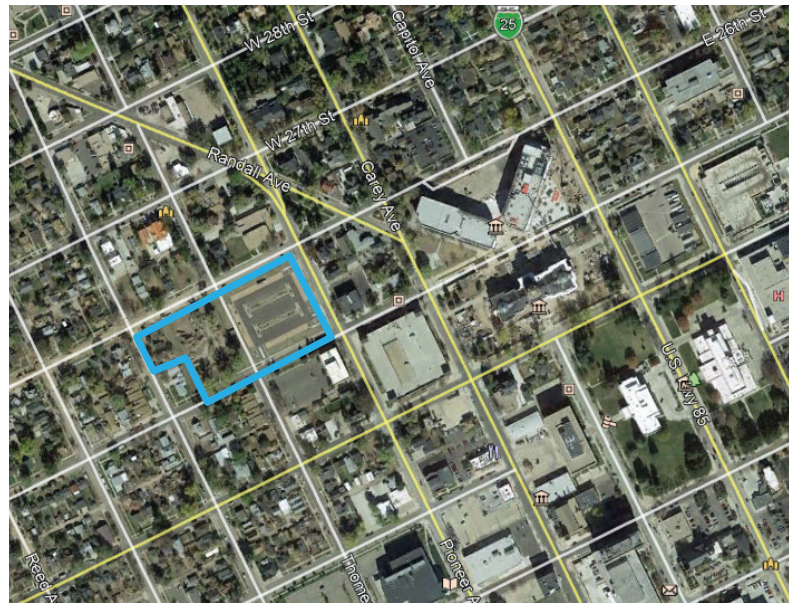
### GRAND TOTAL

**\$ 9,216,998**

**\$ 12,385,502**

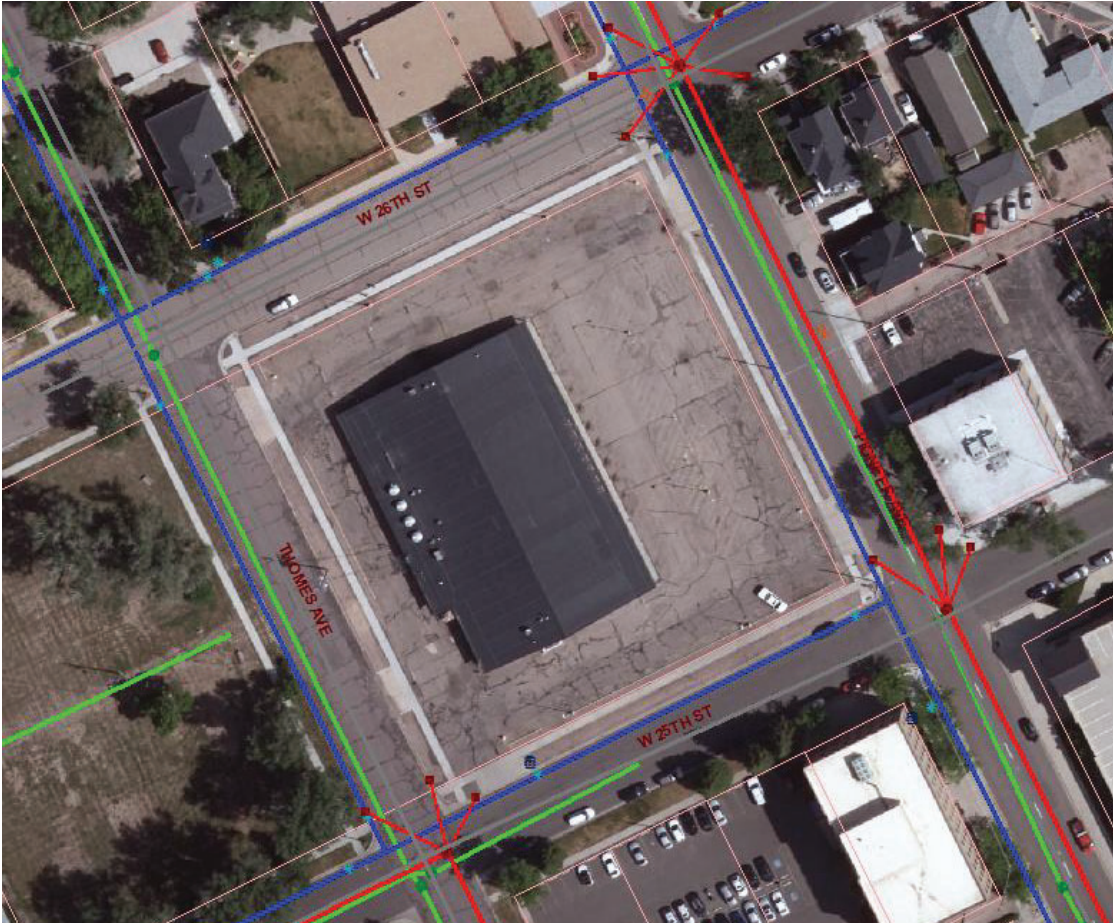
## SITE EVALUATIONS: PIONEER SITE

<b>ACRES</b>	3.7 acres—one city block
<b>ZONING</b>	MUB – Mixed Use Business. Lots facing O’Neil are MR-Medium Density Residential.
<b>UTILITIES</b>	Available proximate to the site. May have tap credits.
<b>PARKING</b>	Full block to accommodate on-site + State parking structure adjacent
<b>CURRENT OWNERSHIP</b>	State of Wyoming. One private lot on the SW corner of 25th and O’Neil
<b>LAND USE</b>	Newly constructed parking lot for State buildings. Previously the Safeway grocery store.



# SITE EVALUATIONS: PIONEER SITE

<b>PROS</b>	<p>Site is proximate to the Capitol.</p> <p>Currently State Owned.</p> <p>Mix of Commercial &amp; Residential Neighbors (Use will not likely exceed historic activity.)</p>
<b>CONS</b>	<p>Site was recently the subject of parking lot construction investment. Some of the improvements may need to be eliminated to configure the site adequately to accommodate a residence.</p> <p>Neighborhood suitability</p>
<b>OBSERVATIONS</b>	<p>Site would be a logical choice due to proximity and ownership.</p> <p>Property was previously considered for a state office building.</p> <p>Environmental considerations may limit options for basement.</p>



**UTILITY DETAILS**

- 4" water on all sides
- 9" sewer on east
- 12" sewer on west

**LEGEND**

- Storm Sewer Pipe
- Storm Sewer Channel
- Water Pipe

# SITE EVALUATIONS: PIONEER SITE

## KEY COMPONENTS EXPLORED

- New Residence (Detached)
- Private Access from 26th Street
- Guest Quarters New Construction
- 10,000 SF Public Space
- Guest Access from 25th at Thomes Street
- Delivery Access from 25th Street

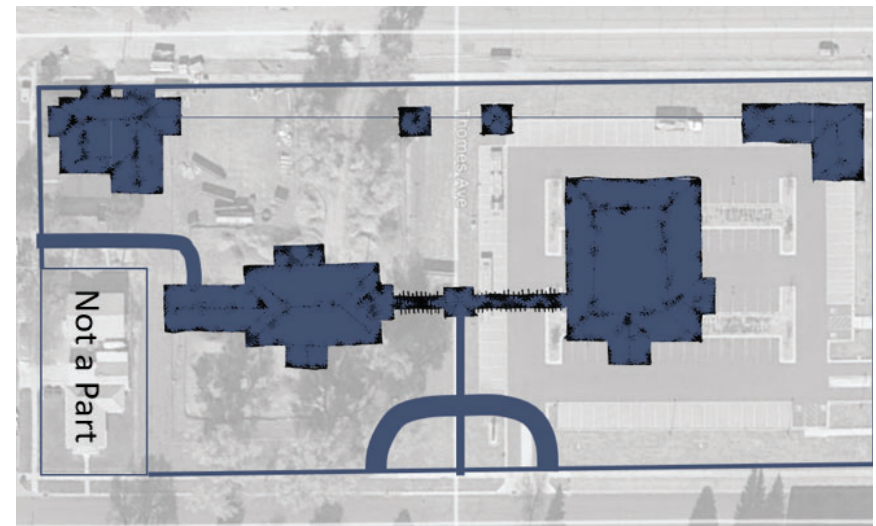
Early design concepts placed the public space on the east side of the site with the residence to the west. The northwest corner of the site includes a guest quarters. A maintenance facility is located on the northeast corner of the site.

Subsequent concept refinements included switching the placement of the residence and the public space to help buffer the residence. The guest quarters were shifted closer to the residence. Note the covered walkway connecting the residence with the public space. Due to existing underground utilities, alignment with Thomes Street of permanent structures has been avoided.

A private property on the southwest corner can remain without impacting the function of this site concept.

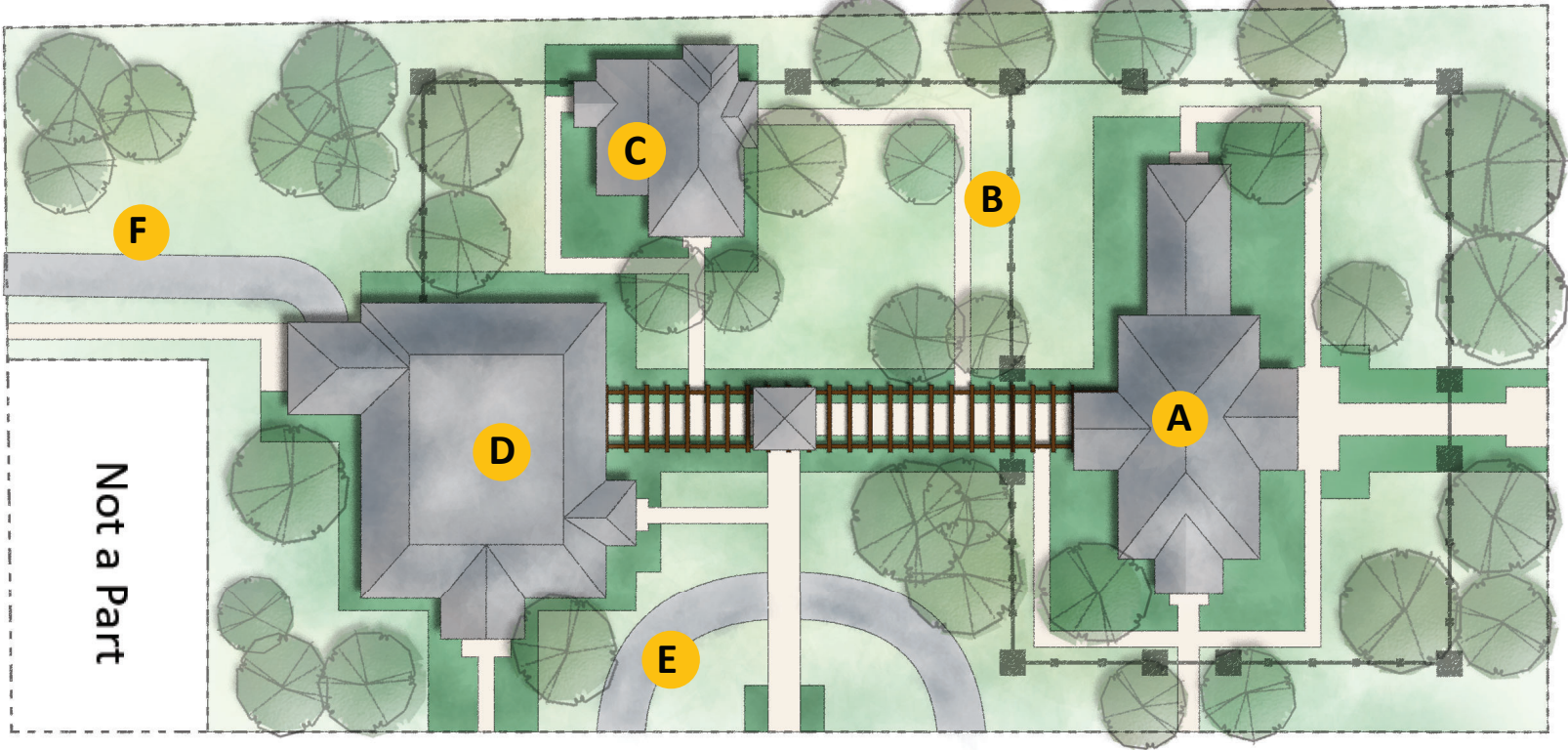


Above: site concept developed as the Pioneer site was considered for a state office building with linkages to the Capitol  
 Below: Early site design concept for Pioneer site

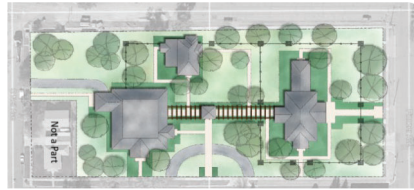


KEY COMPONENTS

- A New Residence (Detached)
- B Private Access from 26th Street
- C Guest Quarters New Construction
- D 10,000 SF Public Space
- E Guest Access from 25th at Thomes Street
- F Delivery Access from 25th Street



# SITE EVALUATIONS: PIONEER SITE



## SITE - B: PIONEER

	Item
<b>CONSTRUCTION</b>	
1	Public Space
2	Private Residence
<b>PROPERTY ACQUISITION</b>	
3	Property Purchase/Acquisition (Additional/Prior)
<b>UTILITIES</b>	
4	Service Lines + System Development Fees
<b>SITE IMPROVEMENTS</b>	
5	Parking Lot, Sidewalks, Driveway
6	Landscaping, Site Furnishings
7	Demolition
<b>SECURITY</b>	
8	Security Fencing System

LOW COST			
Qty.	Unit	Unit Cost	Item Total
12500	SF	\$ 350.00	\$ 4,375,000
8000	SF	\$ 300.00	\$ 2,400,000
		<b>SUBTOTAL</b>	<b>\$ 6,775,000</b>
		\$ -	\$ 187,000
		<b>SUBTOTAL</b>	<b>\$ 187,000</b>
1		\$ 9,000.00	\$ 9,000
		<b>SUBTOTAL</b>	<b>\$ 9,000</b>
			\$ 151,168
			\$ 174,683
			\$ 100,000
		<b>SUBTOTAL</b>	<b>\$ 425,851</b>
1800	LF	\$ 255.00	\$ 459,000
		<b>SUBTOTAL</b>	<b>\$ 459,000</b>

HIGH COST			
Qty.	Unit	Unit Cost	Item Total
12500	SF	\$ 400.00	\$ 5,000,000
8000	SF	\$ 400.00	\$ 3,200,000
		<b>SUBTOTAL</b>	<b>\$ 8,200,000</b>
		\$ -	\$ 4,230,571
		<b>SUBTOTAL</b>	<b>\$ 4,230,571</b>
1		\$ 131,500.00	\$ 131,500
		<b>SUBTOTAL</b>	<b>\$ 131,500</b>
			\$ 280,440
			\$ 499,689
			\$ 150,000
		<b>SUBTOTAL</b>	<b>\$ 930,129</b>
1800	LF	\$ 255.00	\$ 459,000
		<b>SUBTOTAL</b>	<b>\$ 459,000</b>

### CONSTRUCTION SERVICE SUBTOTAL

**SUBTOTAL \$ 7,855,851**

**SUBTOTAL \$ 13,951,200**

### PROJECT DELIVERY/OWNER'S COSTS

A	Owner's Overhead
B	Design Services
C	Equipment, Furnishings, Relocation
D	Contingency

4%		\$ 314,234
9%		\$ 730,594.14
1%		\$ 78,558.51
9%		\$ 707,026.59
		<b>SUBTOTAL \$ 1,830,413</b>

4%		\$ 558,048
9%		\$ 1,297,461.60
1%		\$ 139,512.00
9%		\$ 1,255,608.00
		<b>SUBTOTAL \$ 3,250,630</b>

### GRAND TOTAL

**\$ 9,686,264**

**\$ 17,201,830**

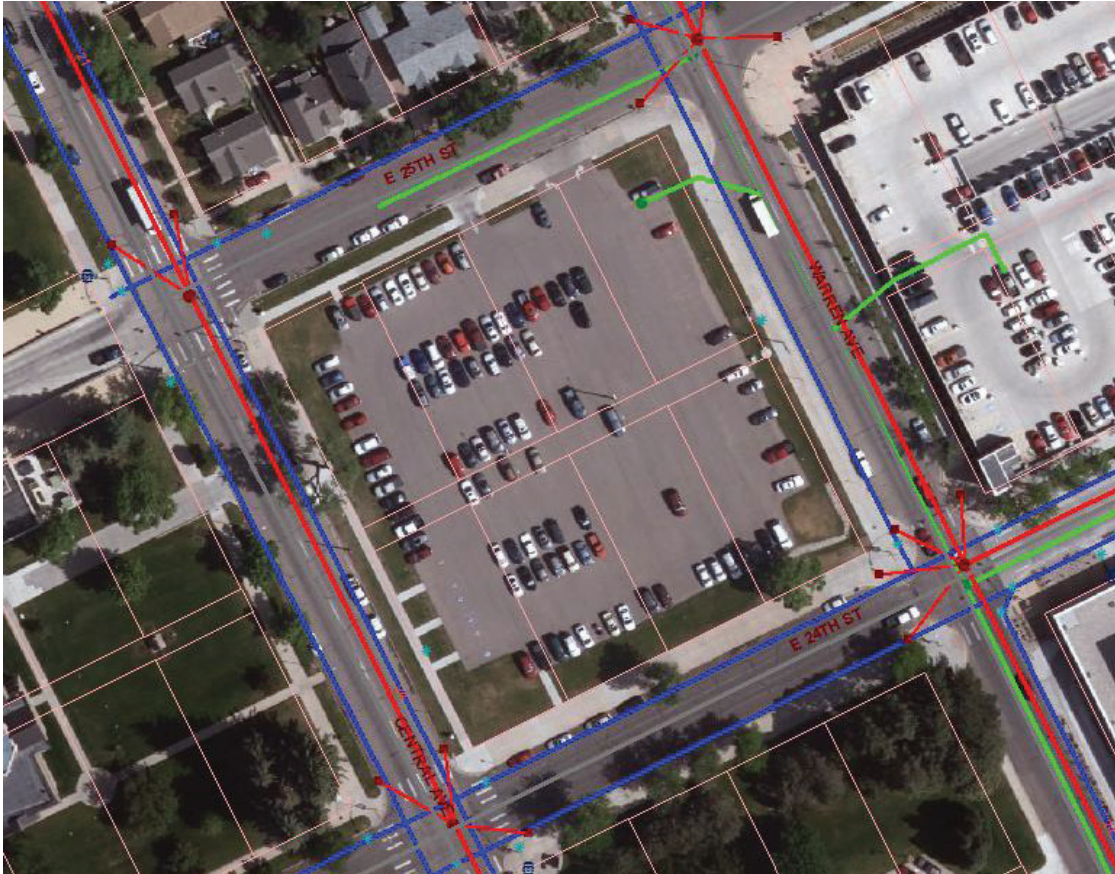
## SITE EVALUATIONS: ST. MARY'S SITE

<b>ACRES</b>	1.7 acres
<b>ZONING</b>	PUD – Planned Unit Development. This PUD contemplated the site for a large office building
<b>UTILITIES</b>	Water and sewer are located adjacent to the site
<b>PARKING</b>	Full block to accommodate on-site + leased parking spaces in adjacent hospital parking structure
<b>CURRENT OWNERSHIP</b>	State of Wyoming
<b>LAND USE</b>	Currently, staging area for Capitol construction, previously State parking lot.



# SITE EVALUATIONS: ST. MARY'S SITE

<b>PROS</b>	<p>Adjacent to the Capitol.</p> <p>Very visible location as “The People’s House”.</p> <p>Proximity to Capitol makes site a logical choice.</p> <p>State owned property.</p> <p>Visible addition to Capitol Complex.</p>
<b>CONS</b>	<p>The site is a full block adjacent to the Capitol which could be utilized for other public offices. Zoning enables a large office building.</p> <p>High traffic volumes on Central/Warren make this site less successful at achieving privacy needs for the Governor’s family.</p> <p>Rerouting Central would be costly</p>
<b>OBSERVATIONS</b>	<p>Site would be a logical choice due to proximity and ownership.</p> <p>Property was previously considered for a state office building.</p> <p>The issue of whether the site could be more directly connected to the Capitol campus was discussed. Traffic realignment could be staged in future years.</p> <p>Site can be expanded if 24th Street is vacated</p>



**UTILITY DETAILS**

- 6” sewer to north
- 8” sewer to east
- 4” water to east and south
- 8” water to east

**LEGEND**

- Storm Sewer Pipe
- Storm Sewer Channel
- Water Pipe

## SITE EVALUATIONS: ST. MARY'S SITE

### KEY COMPONENTS EXPLORED

- 3-Story Residence, Public Space Levels 1 & 2
- Secure access from 25th Street
- Guest Quarters in Main Building
- 24th Street Closure to Complement Capital Square
- Formal West Entrance Facing Capitol
- Ceremonial Gardens

This site presents opportunities to relate the governor's residence directly to the State Capitol Building. Aligning the building to the west and south enables visual connections to other state buildings.

The stateliness of the site directs the design concept toward a single-building scenario to fit in with its monumental neighbors. The first and second levels contain public spaces and the guest quarters. The private residence is located on the third floor, providing for both security and privacy.

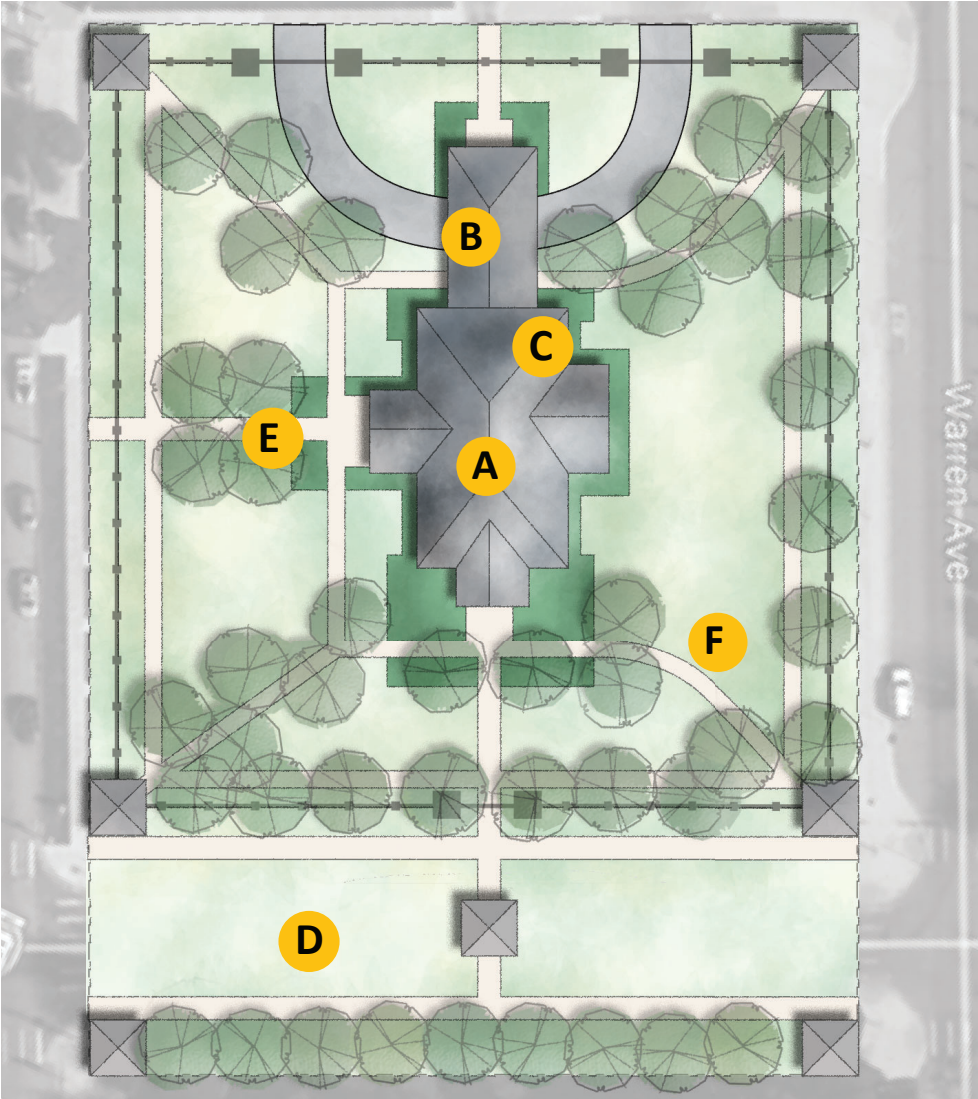


*Above: An early site design concept developed by Paul Brown of MOCA Systems Inc, as part of the Capitol Square planning process identifies how the governor's residence could relate to the Capitol Building with formal lawns, outdoor spaces and walking paths.*

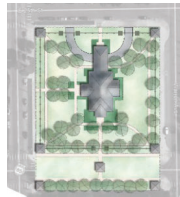
# SITE EVALUATIONS: ST. MARY'S SITE

## KEY COMPONENTS

- A** 3-Story Residence, Public Space Levels 1 & 2
- B** Secure access from 25th Street
- C** Guest Quarters in Main Building
- D** 24th Street Closure to Complement Capital Square
- E** Formal West Entrance Facing Capitol
- F** Ceremonial Gardens



# SITE EVALUATIONS: ST. MARY'S



Item	
<b>CONSTRUCTION</b>	
1	Public Space
2	Private Residence
<b>PROPERTY ACQUISITION</b>	
3	Property Purchase/Acquisition (Prior Cost)
<b>UTILITIES</b>	
4	Service Lines + System Development Fees
<b>SITE IMPROVEMENTS</b>	
5	Parking Lot, Sidewalks, Driveway
6	Landscaping, Site Furnishings
7	Demolition
<b>SECURITY</b>	
8	Security Fencing System

## SITE - C: ST. MARY'S

LOW COST			
Qty.	Unit	Unit Cost	Item Total
12500	SF	\$ 350.00	\$ 4,375,000
8000	SF	\$ 300.00	\$ 2,400,000
		<b>SUBTOTAL</b>	<b>\$ 6,775,000</b>
		\$ -	\$ -
		<b>SUBTOTAL</b>	<b>\$ -</b>
1		\$ 3,000.00	\$ 3,000
		<b>SUBTOTAL</b>	<b>\$ 3,000</b>
			\$ 114,288
			\$ 81,554
1	LS	\$ 8,500.00	\$ 8,500
		<b>SUBTOTAL</b>	<b>\$ 204,342</b>
1300	LF	\$ 255.00	\$ 331,500
		<b>SUBTOTAL</b>	<b>\$ 331,500</b>

HIGH COST			
Qty.	Unit	Unit Cost	Item Total
12500	SF	\$ 400.00	\$ 5,000,000
8000	SF	\$ 400.00	\$ 3,200,000
		<b>SUBTOTAL</b>	<b>\$ 8,200,000</b>
		\$ -	\$ 5,725,043
		<b>SUBTOTAL</b>	<b>\$ 5,725,043</b>
1		\$ 78,500.00	\$ 78,500
		<b>SUBTOTAL</b>	<b>\$ 78,500</b>
			\$ 201,918
			\$ 172,977
1	LS	\$ 17,000.00	\$ 17,000
		<b>SUBTOTAL</b>	<b>\$ 391,895</b>
1300	LF	\$ 255.00	\$ 331,500
		<b>SUBTOTAL</b>	<b>\$ 331,500</b>

### CONSTRUCTION SERVICE SUBTOTAL

**SUBTOTAL \$ 7,313,842**

**SUBTOTAL \$ 14,726,938**

### PROJECT DELIVERY/OWNER'S COSTS

A	Owner's Overhead
B	Design Services
C	Equipment, Furnishings, Relocation
D	Contingency

4%		\$ 292,554
9%		\$ 680,187.31
1%		\$ 73,138.42
9%		\$ 658,245.78
		<b>SUBTOTAL</b>
		<b>\$ 1,704,125</b>

4%		\$ 589,078
9%		\$ 1,369,605.23
1%		\$ 147,269.38
9%		\$ 1,325,424.42
		<b>SUBTOTAL</b>
		<b>\$ 3,431,377</b>

### GRAND TOTAL

**\$ 9,017,967**

**\$ 18,158,315**

## SITE EVALUATIONS: HISTORIC MANSION

<b>ACRES</b>	Full Block - 75,500 SF (34,850 SF is vacant)
<b>ZONING</b>	MUR: Mixed Use Residential + Governor’s Mansion Protective Overlay. MUR – “Government Facilities” are a permitted use in the district. The Protective Overlay includes general language geared at protecting the integrity of the Historic Governor’s Mansion. Provisions include design consideration, and extend to several adjacent properties. The Capitol Height Overlay District does cover Block 235 with a height restriction.
<b>UTILITIES</b>	Located adjacent to the site. Several taps may already be credited toward the vacant lots.
<b>PARKING</b>	Half block undeveloped that could accommodate on-site + Cheyenne Regional Medical Center parking structure adjacent
<b>CURRENT OWNERSHIP</b>	<ul style="list-style-type: none"> <li><b>A</b> East 22nd St. LLC/Rande Pouppirt (Vacant Lots 34,848 SF)</li> <li><b>B</b> WY Children’s Society (314 21st).</li> <li><b>C</b> Gapen Revocable Trust (2110 Evans)</li> </ul>
<b>LAND USE</b>	Historic mansion museum, private homes



## SITE EVALUATIONS: HISTORIC MANSION

<b>PROS</b>	<p>Adjacent to Historic Governor’s Mansion</p> <p>Proximity to Capitol</p> <p>Availability of Public Gardens/Grounds</p> <p>Opportunity to engage with the Historic Governor’s Mansion.</p>
<b>CONS</b>	<p>Property consolidation could be challenging/costly. Several parcels are currently for sale.</p> <p>Some on-site parking could be accommodated, although the neighboring Cheyenne Regional Medical Center parking structure may provide an option.</p> <p>Security due to the multi-story parking structure would likely need to be addressed.</p>
<b>OBSERVATIONS</b>	<p>The site has a direct view of the Capitol.</p> <p>The site is located between residential uses and the hospital, giving the location a somewhat more commercial feel.</p> <p>Site currently includes public uses at the Historic Governor’s Mansion and would likely not adversely impact neighborhood.</p>



### UTILITY DETAILS

- 6" water to north
- 12" water to east
- 4" water to south
- 8" water to west
- 15" sewer to west

### LEGEND

- Storm Sewer Pipe
- Storm Sewer Channel
- Water Pipe

## SITE EVALUATIONS: HISTORIC MANSION

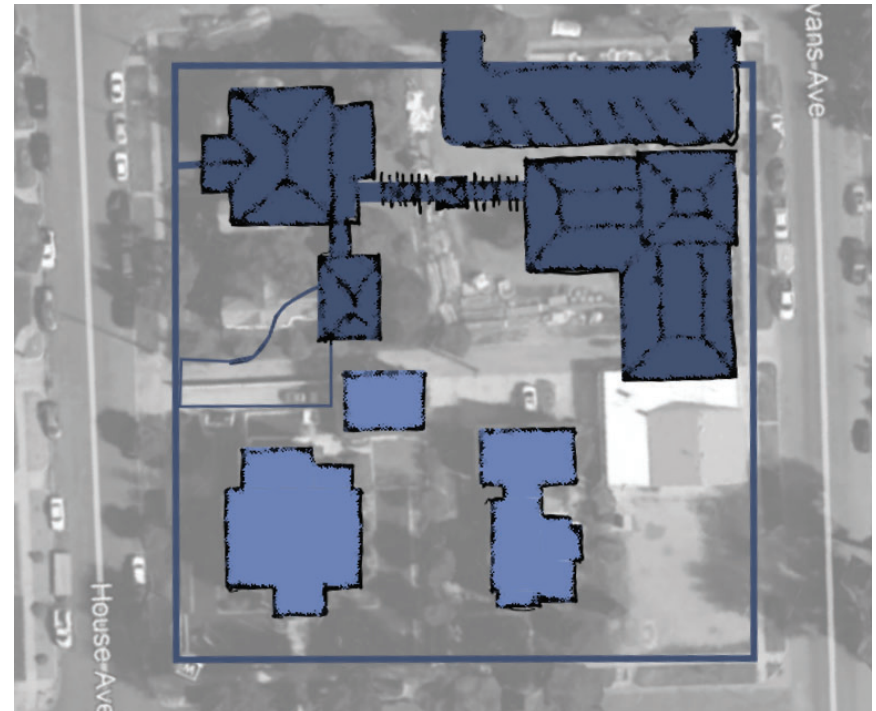
### KEY COMPONENTS EXPLORED

- Acquisition of several properties that are currently privately owned
- New Residence (Detached)
- Private Access from House Street
- Guest Quarters in Crook House or Public Building
- 10,000 Square Feet Public Space
- Retain Historic Governor's Mansion as Museum
- Parking Option at Southeast Corner of Block

Designs at this location would require careful consideration of the surrounding buildings. The scale of the new residence would need to blend seamlessly with the Historic Governor's Residence.

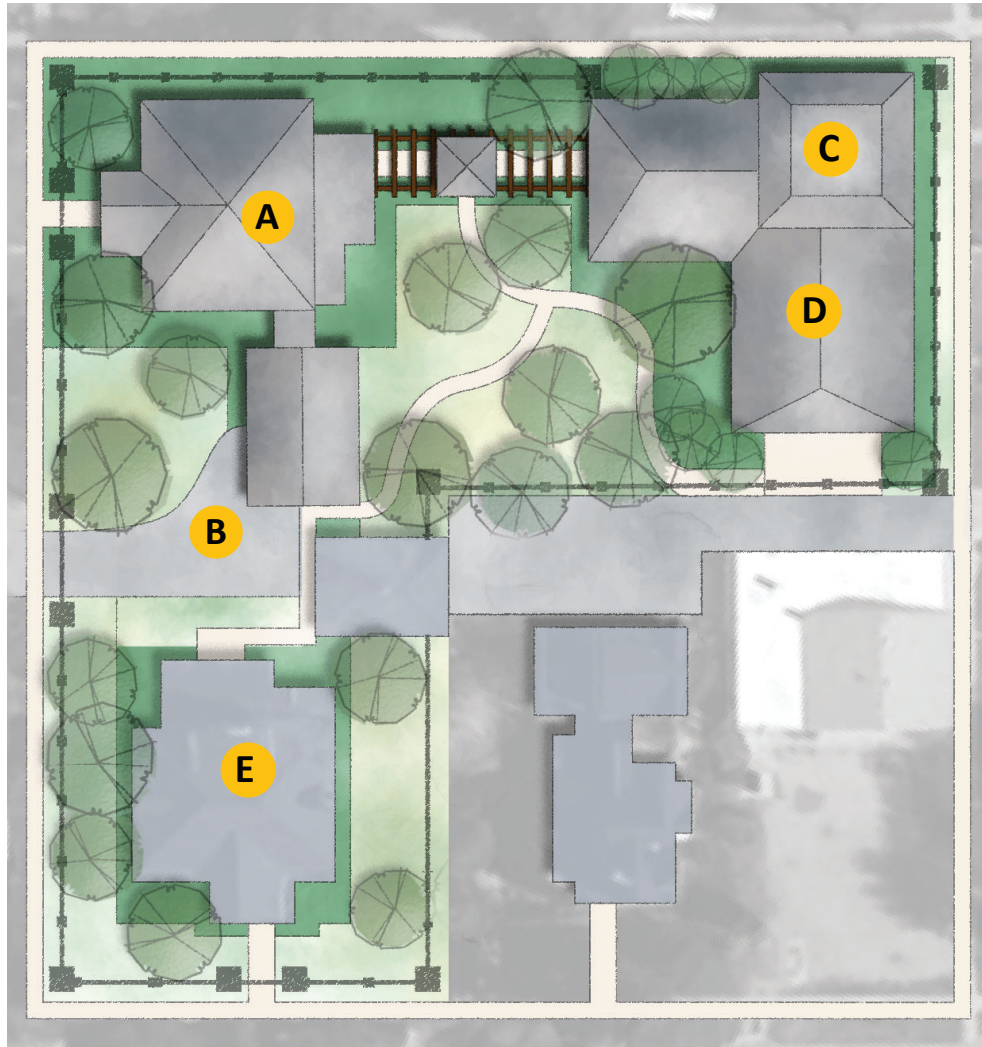
Early design concepts explored options that encompassed the full block as well as portions of the block. Should the State only acquire the north half of the block, the public space would likely require additional square footage to accommodate a guest quarters. The courtyard space would be somewhat limited as the alley would still need to serve the Crook House.

If the full block was acquired, the Crook House could be remodeled into the guest quarters, and additional parking provided at the Southeast corner.



*Above: An early site design concept for Site D: Historic Mansion. This concept iteration explored the possibility of purchasing the Crook House for use as a guest quarters, and providing some on-site parking on the north edge of the property.*

## SITE EVALUATIONS: HISTORIC MANSION (1)

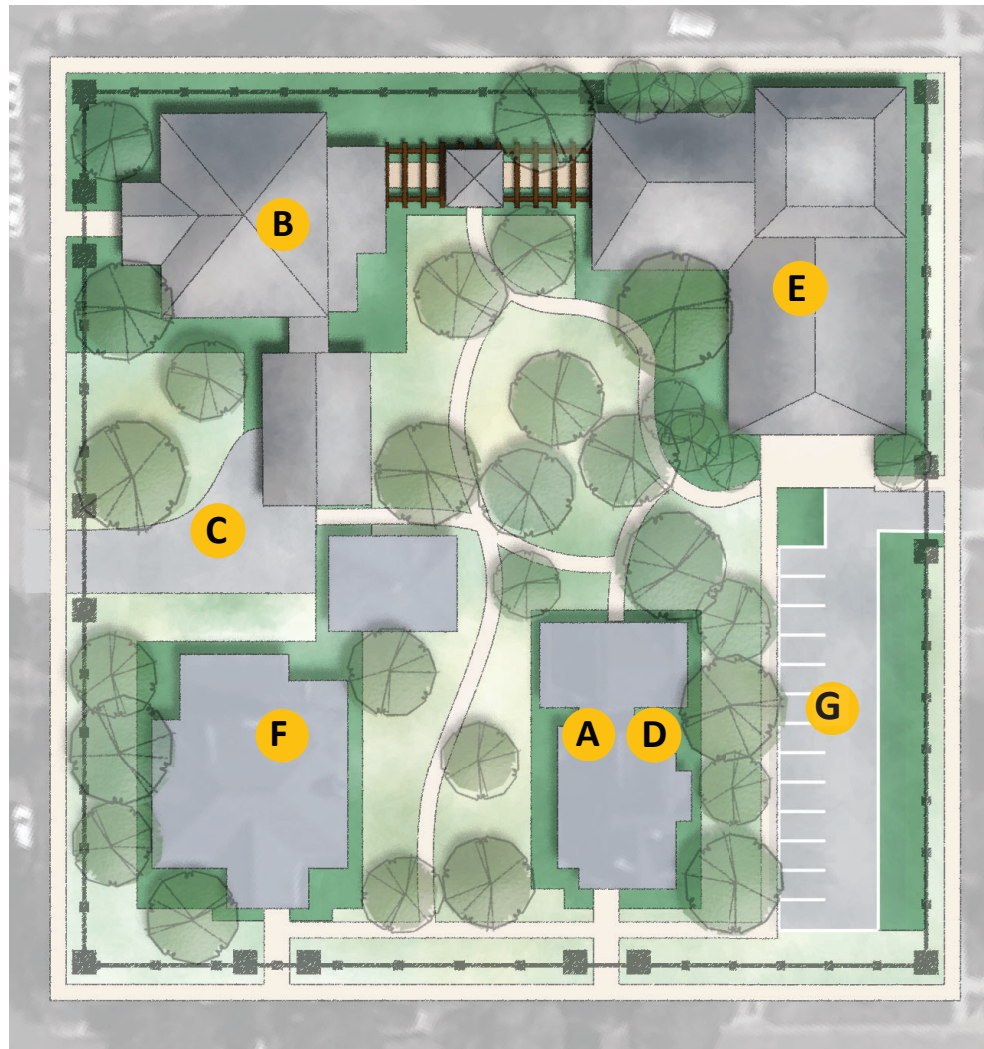


### KEY COMPONENTS

- A** New Residence (Detached)
- B** Private Access from House Street
- C** Guest Quarters in Public Building
- D** 10,000 Square Feet Public Space
- E** Retain Historic Governor's Mansion as Museum

*Private properties are excluded from this concept.*

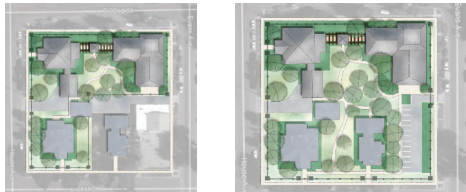
## SITE EVALUATIONS: HISTORIC MANSION (2)



### KEY COMPONENTS

- A** Acquisition of several properties that are currently privately owned
- B** New Residence (Detached)
- C** Private Access from House Street
- D** Guest Quarters in Crook House
- E** 8,000 Square Feet Public Space
- F** Retain Historic Governor's Mansion as Museum
- G** Parking

# SITE EVALUATIONS: HISTORIC MANSION



Item	
<b>CONSTRUCTION</b>	
1	Public Space
2	Private Residence
<b>PROPERTY ACQUISITION</b>	
3	Property Purchase/Acquisition
<b>UTILITIES</b>	
4	Service Lines + System Development Fees
<b>SITE IMPROVEMENTS</b>	
5	Parking Lot, Sidewalks, Driveway
6	Landscaping, Site Furnishings
7	Demolition
<b>SECURITY</b>	
8	Security Fencing System

**CONSTRUCTION SERVICE SUBTOTAL**

**PROJECT DELIVERY / OWNER'S COSTS**

A	Owner's Overhead
B	Design Services
C	Equipment, Furnishings, Relocation
D	Contingency

**GRAND TOTAL**

SITE - D: HISTORIC GOV BLOCK			
LOW COST			
Qty.	Unit	Unit Cost	Item Total
12500	SF	\$ 350.00	\$ 4,375,000
8000	SF	\$ 300.00	\$ 2,400,000
<b>SUBTOTAL</b>			<b>\$ 6,775,000</b>
		\$ -	\$ 2,000,000
<b>SUBTOTAL</b>			<b>\$ 2,000,000</b>
1		\$ 6,000.00	\$ 6,000
<b>SUBTOTAL</b>			<b>\$ 6,000</b>
			\$ 107,832
			\$ 126,477
1	LS	\$ 8,500.00	\$ 8,500
<b>SUBTOTAL</b>			<b>\$ 242,809</b>
1100	LF	\$ 255.00	\$ 280,500
<b>SUBTOTAL</b>			<b>\$ 280,500</b>
<b>SUBTOTAL</b>			<b>\$ 9,304,309</b>

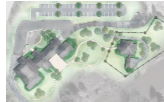

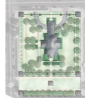


  

HIGH COST			
Qty.	Unit	Unit Cost	Item Total
12500	SF	\$ 400.00	\$ 5,000,000
8000	SF	\$ 400.00	\$ 3,200,000
<b>SUBTOTAL</b>			<b>\$ 8,200,000</b>
		\$ -	\$ 2,500,000
<b>SUBTOTAL</b>			<b>\$ 2,500,000</b>
1		\$ 105,000.00	\$ 105,000
<b>SUBTOTAL</b>			<b>\$ 105,000</b>
			\$ 178,605
			\$ 257,038
1		\$ 40,000.00	\$ 40,000
<b>SUBTOTAL</b>			<b>\$ 475,643</b>
1100	LF	\$ 255.00	\$ 280,500
<b>SUBTOTAL</b>			<b>\$ 280,500</b>
<b>SUBTOTAL</b>			<b>\$ 11,561,143</b>

4%			\$ 372,172
9%			\$ 865,300.74
1%			\$ 93,043.09
9%			\$ 837,387.81
<b>SUBTOTAL</b>			<b>\$ 2,167,904</b>
<b>SUBTOTAL</b>			<b>\$ 2,693,746</b>
<b>GRAND TOTAL</b>			<b>\$ 14,254,889</b>

# SITE EVALUATIONS: CONSOLIDATED COST TABLE

									
		SITE - A: CURRENT SITE		SITE - B: PIONEER		SITE - C: ST MARY'S		SITE - D: HISTORIC GOV BLOCK	
		LOW COST	HIGH COST	LOW COST	HIGH COST	LOW COST	HIGH COST	LOW COST	HIGH COST
Item		Item Total	Item Total	Item Total	Item Total	Item Total	Item Total	Item Total	Item Total
<b>CONSTRUCTION</b>									
1	Public Space	\$ 4,375,000	\$ 5,000,000	\$ 4,375,000	\$ 5,000,000	\$ 4,375,000	\$ 5,000,000	\$ 4,375,000	\$ 5,000,000
2	Private Residence	\$ 2,400,000	\$ 3,200,000	\$ 2,400,000	\$ 3,200,000	\$ 2,400,000	\$ 3,200,000	\$ 2,400,000	\$ 3,200,000
		\$ 6,775,000	\$ 8,200,000	\$ 6,775,000	\$ 8,200,000	\$ 6,775,000	\$ 8,200,000	\$ 6,775,000	\$ 8,200,000
<b>PROPERTY ACQUISITION</b>									
3	Property Purchase/Acquisition (Future/Prior)	\$ -	\$ -	\$ 187,000	\$ 4,230,571	\$ -	\$ 5,725,043	\$ 2,000,000	\$ 2,500,000
		\$ -	\$ -	\$ 187,000	\$ 4,230,571	\$ -	\$ 5,725,043	\$ 2,000,000	\$ 2,500,000
<b>UTILITIES</b>									
4	Service Lines + System Development Fees	\$ 24,000	\$ 105,000	\$ 9,000	\$ 131,500	\$ 3,000	\$ 78,500	\$ 6,000	\$ 105,000
		\$ 24,000	\$ 105,000	\$ 9,000	\$ 131,500	\$ 3,000	\$ 78,500	\$ 6,000	\$ 105,000
<b>SITE IMPROVEMENTS</b>									
5	Parking Lot, Sidewalks, Driveway	\$ 256,888	\$ 402,285	\$ 151,168	\$ 280,440	\$ 114,288	\$ 201,918	\$ 107,832	\$ 178,605
6	Landscaping, Site Furnishings	\$ 137,687	\$ 297,564	\$ 174,683	\$ 499,689	\$ 81,554	\$ 172,977	\$ 126,477	\$ 257,038
7	Demolition	\$ 26,687	\$ 71,164	\$ 100,000	\$ 150,000	\$ 8,500	\$ 17,000	\$ 8,500	\$ 40,000
		\$ 421,262	\$ 771,013	\$ 425,851	\$ 930,129	\$ 204,342	\$ 391,895	\$ 242,809	\$ 475,643
<b>SECURITY</b>									
8	Security Fencing System	\$ 255,000	\$ 969,000	\$ 459,000	\$ 459,000	\$ 331,500	\$ 331,500	\$ 280,500	\$ 280,500
		\$ 255,000	\$ 969,000	\$ 459,000	\$ 459,000	\$ 331,500	\$ 331,500	\$ 280,500	\$ 280,500
<b>CONSTRUCTION SERVICE SUBTOTAL</b>		<b>\$ 7,475,262</b>	<b>\$ 10,045,013</b>	<b>\$ 7,855,851</b>	<b>\$ 13,951,200</b>	<b>\$ 7,313,842</b>	<b>\$ 14,726,938</b>	<b>\$ 9,304,309</b>	<b>\$ 11,561,143</b>
<b>PROJECT DELIVERY/OWNER'S COSTS</b>									
A	Owner's Overhead	\$ 299,010	\$ 401,801	\$ 314,234	\$ 558,048	\$ 292,554	\$ 589,078	\$ 372,172	\$ 462,446
B	Design Services	\$ 695,199.34	\$ 934,186.25	\$ 730,594.14	\$ 1,297,461.60	\$ 680,187.31	\$ 1,369,605.23	\$ 865,300.74	\$ 1,075,186.30
C	Equipment, Furnishings, Relocation	\$ 747,526.62	\$ 1,004,501.13	\$ 78,558.51	\$ 139,512.00	\$ 73,138.42	\$ 147,269.38	\$ 93,043.09	\$ 115,611.43
D	Contingency	\$ 672,773.55	\$ 904,051.21	\$ 707,026.59	\$ 1,255,608.00	\$ 658,245.78	\$ 1,325,424.42	\$ 837,387.81	\$ 1,040,502.87
		\$ 1,741,736	\$ 2,340,488	\$ 1,830,413	\$ 3,250,630	\$ 1,704,125	\$ 3,431,377	\$ 2,167,904	\$ 2,693,746
<b>GRAND TOTAL</b>		<b>\$ 9,216,998</b>	<b>\$ 12,385,502</b>	<b>\$ 9,686,264</b>	<b>\$ 17,201,830</b>	<b>\$ 9,017,967</b>	<b>\$ 18,158,315</b>	<b>\$ 11,472,213</b>	<b>\$ 14,254,889</b>

Acquisition costs or other State uses of St. Mary's and Pioneer sites are not listed but may want to be considered in the selection process.

# CONCLUSIONS AND RECOMMENDATIONS

## CONCLUSIONS AND RECOMMENDATIONS

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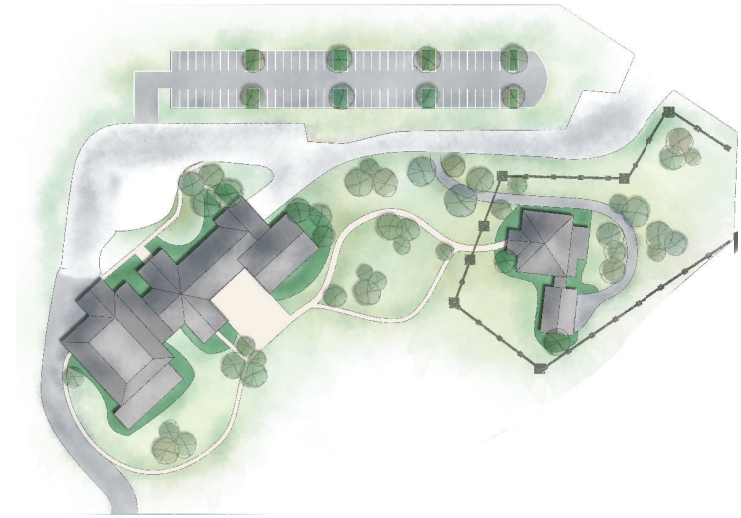
After considerable review and analysis of the different sites available, the final decision of site selection ultimately rests with the Legislature. This report provides significant background by which to consider the pros and cons of the proposed locations. The closing analysis for each site will focus on the major differences to help in providing clarity to site selection. The primary question remains: what is the optimal location for the governor's residence for the next 100 years and thereafter? This location will need to weather changes that we cannot imagine today. Perspective for the long-term is likely the most important and most difficult criteria to be considered.

Whether there is consensus or support for any of these sites, the lessons identified from prior experiences are compelling. If the governor's residence is worth investing in as a Wyoming landmark, we must learn the lessons that have led us to this point today. We must not replicate the errors of the past in evaluating potential locations, considerations, and implications of a new Governor's Residence.

## CONCLUSIONS AND RECOMMENDATIONS

### SITE A: CURRENT SITE

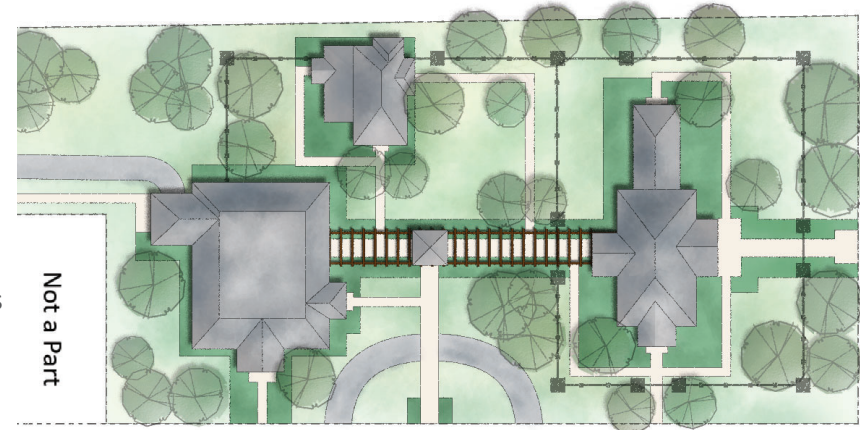
- The site provides a shovel-ready, well-landscaped environment.
- Expansion of the public space may be an efficient way to reuse existing facilities.
- Securing the entire property would be costly due to the size. Should a smaller portion be secured around just the proposed new residence, cost could be reduced without major compromises to the security of the residence.
- Using the current location preserves the other sites for future State uses. Additionally, the size of the property allows for some flexibility over time to adapt to changing conditions.
- The adjacency to Interstate 25 remains a security concern.
- The location also will be subject to increasing traffic volumes and noise over time.



## CONCLUSIONS AND RECOMMENDATIONS

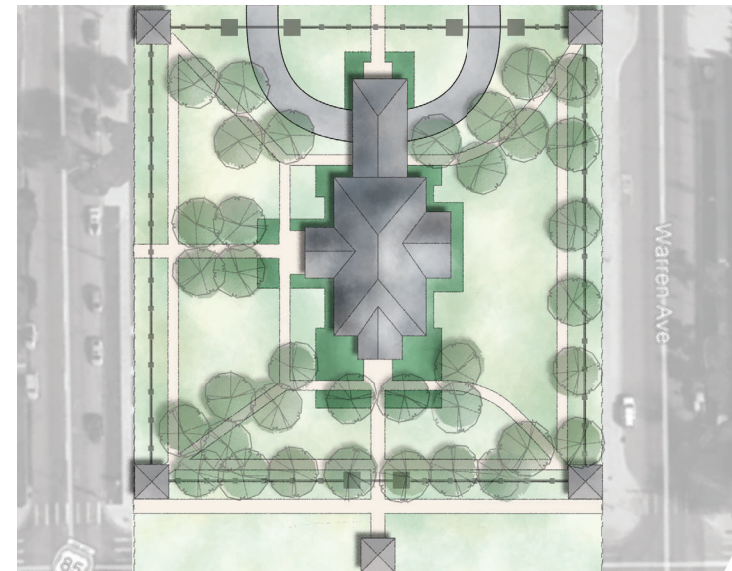
### SITE B: PIONEER

- This site provides possibly the most flexibility of the sites due to its size – covering nearly two conjoined blocks west of the Capitol.
- The location is proximate to the Capitol and could benefit security and operational efficiencies. The site is likely a quiet location. This location could enhance investment in the vicinity.
- The site presents some questions regarding lingering environmental concerns and costs, which might limit the ability to construct a basement.
- This site accommodates parking for the Capitol Complex and future State office facilities.



### SITE C: ST MARYS

- This site is by far the most “ceremonial” of locations. The ability to establish a formal geographic relationship with the Capitol is beneficial due to security and functional efficiencies. The setting would provide for a dramatic placement of the residence as a very public and visible building.
- The proximity to the Cheyenne Regional Medical Center could present impacts to the solitude of the site. The location block is near the emergency room access and occasionally experiences noise from ambulances and helicopters. Outdoor garden spaces could be impacted.
- The concept to physically connect the property to either the Capitol Grounds or State Museum would create a dramatic addition to the Capitol Square Complex.



## CONCLUSIONS AND RECOMMENDATIONS

- Locating all uses in one building could provide construction efficiencies, yet special care would need to be taken to separate the public spaces from the private residence – likely by placing these uses on separate floors.
- Placement is consistent with the 2019 Long-Term Plan of establishing a park-like setting within the Capitol Complex.

### SITE D: HISTORIC GOVERNOR’S BLOCK

- This site presents a logical choice due to the presence of the Historic Governor’s Mansion. Honoring Wyoming’s heritage is a motivation to choose this location.
- This site neighbors the Cheyenne Regional Medical Center Parking Structure and continued growth of the hospital could present impacts to the property in the future.
- This site is the only option that relies on acquisition of private property to proceed. The process for negotiations would extend the timeframe and costs for completion of the project.



## SCHEDULE

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Although preliminary work for Level I & II has begun, the dates listed below are considered recommended at this time and will be confirmed following the 2019 session. The dates assigned below may vary. The estimates prepared for this study are based upon the forecast midpoint of construction (mid-2021). Appropriate adjustments to cost escalation factors should be considered with adjustments of the schedule.

Begin Level I & II Space Study	July 2019
Preliminary Report	January 2020
2020 Legislative Session (Level III Design Funding Request)	February 2020

### ***Dates to be confirmed***

<i>Notice to Proceed Level III Work</i>	<i>April 2020</i>
<i>Design and Documentation</i>	<i>April 2020 – December 2020</i>
<i>2021 Legislative Session (Level III construction funding request)</i>	<i>January 2021</i>
<i>Construction</i>	<i>April 2021 – June 2022</i>
<i>Occupy Residence</i>	<i>July 2022</i>

# ACKNOWLEDGEMENTS

## GOVERNOR'S RESIDENCE WORKING GROUP

Kari Jo Gray, Governor's Chief of Staff  
Senator Eli Bebout, Co-Chairman  
Representative Bob Nicholas, Co-Chairman  
Senator Fred Emerich  
Senator Stephan Pappas  
Representative Steve Harshman  
Representative Jared Olsen  
Jillian Balow, Superintendent of Public Instruction  
Dicky Shanor, Cheyenne City Councilman  
Former Senator Phil Nicholas

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Officer

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William Panos, Director  
Colonel Kebin Haller, Highway Patrol Administrator  
Lt. Colonel Shannon Ratliff, Operations Commander

## STATE BUILDING COMMISSION

Governor Matthew H. Mead, Chairman  
Edward A. Buchanan, Secretary of State  
Cynthia Cloud, State Auditor  
Mark Gordon, State Treasurer  
Jillian Balow, Superintendent of Public Instruction  
Representative Pat Sweeney, Ex-Officio SBC Member  
Representative Tom Walters, Ex-Officio SBC Member  
Senator Eli Bebout, Ex-Officio SBC Member  
Senator Drew Perkins, Ex-Officio SBC Member  
Senator Stephan Pappas, Ex-Officio SBC Member

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& Investments  
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Caitlin Blue, Civil Engineer  
Blake Theisen, Landscape Architect  
Sarah Bestul, Marketing Editor



# Wyoming State Construction Department

Governor Mark Gordon

Jerry Vincent, Director

---

December 27, 2021

Members of the Joint Appropriations Committee:

Per the meeting held on December 7, 2021, Representative Nicholas requested information on the sound masking system proposed for the Herschler building.

The sound masking system provides speech privacy through a series of loudspeakers that distribute an engineered sound similar to softly blowing air.

There are several systems in place at the WyDOT campus and WyDOT Facilities staff are prepared to provide active demonstrations to the Committee at your request.

Additional information can be found at the following link:

[https://www.gsa.gov/cdnstatic/GSA\\_Sound\\_Matters\\_%28Dec\\_2011%29\\_508.pdf](https://www.gsa.gov/cdnstatic/GSA_Sound_Matters_%28Dec_2011%29_508.pdf)



# Wyoming State Construction Department

Governor Mark Gordon

Jerry Vincent, Director

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December 27, 2021

Members of the Joint Appropriations Committee:

Per the meeting held on December 7, 2021, Representative Walters requested a cost for the concrete flooring on the Pole Barn.

We anticipate that a concrete floor, in lieu of pea gravel floor, will increase the cost by approximately \$10,000.



# Wyoming State Construction Department

Governor Mark Gordon

Jerry Vincent, Director

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December 27, 2021

Members of the Joint Appropriations Committee:

Per the meeting held on December 7, 2021, Representative Nicholas requested a copy of the Level I report for the Law Enforcement Academy.

Please find the information attached.



May 7,  
2020

Wyoming Law  
Enforcement Academy

# FACILITY ASSESSMENT REPORT



## Table of CONTENTS

Team Contacts

1.0 Executive Summary

2.0 Space Needs

3.0 Estimates

4.0 Architectural Assessment

5.0 Civil Site Assessment

6.0 Structural Assessment

7.0 Mechanical Assessment

8.0 Electrical Assessment

### APPENDIX

A. Meeting Minutes

B. Current Tasks With No Functional Space

# [ A/E Team Contacts ]



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Consultant Engineers

[ 1.0 EXECUTIVE  
SUMMARY: ]

## Executive Summary

In December 2019, the State of Wyoming secured professional design services from Arete Design Group to develop a Level 1 and Level 2 Study of the Wyoming Law Enforcement Academy (WLEA) in Douglas, Wyoming. The goal of this Level 1 Study is to assess the existing facilities, define current shortfalls of capacity and space programming, quantify building space programming to meet the Academy's current objectives, and future needs 5 years and 20 years out. This report also provides recommendations for the most cost-effective path forward. Potential obstacles and conflicts for implementing the recommendations are identified and resolutions proposed. The main objective of the Level 1 Study is to provide the State of Wyoming necessary data to determine the best option to solve the Academy's deficiencies in programmatic training facilities and capacity.

The Level 1 study is broken down into two basic components:

1. Programmatic needs and deficiencies.
2. Facilities Condition Assessment.

### Programmatic Needs and Deficiencies

A series of meetings took place to data mine the existing use and capacity, identify logistical problems and obtain staff feedback for each existing space. Using this information, the design team worked with staff from each department to review programmatic issues and existing capacity numbers versus what the current needs require. Then the program was adjusted to allow for projected needs 20 years out. Further detail is included in the programming document included in this Study, which clearly indicates that the current facility is undersized to efficiently handle the number of students requesting training at the WLEA.

Physical adaptations to the existing buildings to try to keep up with changes in instructional methodologies and substantial increases in programs have been innovative and well thought out. However, they have simply run out of room to work with. The Wyoming Law Enforcement Academy has been functioning in an over capacity condition for decades. This has created logistical difficulties to schedule the legislatively mandated programs required to be employed as a law enforcement officer and provide other programs required such as continuing education for law enforcement positions within the state. This has not occurred solely due to a larger population base. The academy was originally designed and constructed to house peace officer training only, with time between sessions to clean and maintain the facility. Now, the facility is providing 3 sections of peace officer training, detention officer training, coroner training and continuing education that keep the facility in use year-round.

As mentioned above, the original law enforcement academy facility was designed in 1982 to accommodate offices, dormitories, cafeteria, classrooms, specialized law enforcement training space, and support services for the original 320-hour peace officer training program. Just prior to conclusion of construction in 1984, the detention, coroner, and communications programs

were added. Therefore, the day the facility opened it was at peak capacity. Also, regional law enforcement agencies sought to use the main building to host other training programs. Now, 38 years later, the peace officer program has nearly doubled to 605 hours and the building sees nearly 1,000 students a year through its doors. Also, the Detention training program has also increased 75% from 170 hours in 1989 to 298 hours today. This heavy load of students also requires additional instructors, cooks, facility support staff, and administrative personnel that have no existing allocated space. The main building was not designed to support this capacity.

According to a 1979 *National Association of State Directors of Law Enforcement Training* (NASDLET) Needs Assessment Study the number of Peace Officers within the state was 1,100. The main building was designed around that capacity listed in this report. As of December 2019, within the State of Wyoming, there are 1,751 Peace Officers, 789 Detention Officers, 396 Communications Officers, 524 Corrections Officers, and 102 Coroners. WLEA is responsible for providing continued training for all of these Officers with the exception of the Corrections Officers. That is a total of 3,037 Officers served by WLEA or a 276% increase in Officers served by WLEA from the time the facility was opened.

Since 2015, four state agencies specifically require new Officers to complete basic training before they are allowed to “work” on the job. These agencies are given enrollment priority so that new Officer’s employment is not in jeopardy. In 2019, 18 agencies adopted a ‘hire then send’ policy seeking priority enrollment. This 350% increase has created logistical problems for priority enrolling Officers in the 3 peace officer sessions offered each year through WLEA. If this trend continues at this pace, it will become impossible to meet all the statewide agencies’ requirements.

The existing facility was primarily designed to be utilized for lecture-centric teaching of smaller classes. Hands-on or scenario-based training is currently the state of the art training method because it continues to produce a more robust and comprehensive training protocol for future law enforcement officers. By engaging students in realistic hands-on environments students learn about the decision-making complexities they are likely to face in the field. Despite this instructional methodology shift, only 246 hours of the 605 hours required for Basic Training (approximately 40%) are scenario based. WLEA staff desires to increase this to at least 360 hours, or 60% of the total course hours. Looking at the total course hours, Basic Training, broken out by total course objectives; demonstrative and scenario training currently represents only 11% of the 814 training objectives. The goal for the future is to increase physical demonstration and scenario-based training to 40% or more of the total instruction hours.

*Facilities Modifications Over the Years.* In order to meet the need for more and better hands on training, some areas within the building have been repurposed. For example, the locker rooms that were previously used for the pool area (which is gone now), still functions as a restroom, but is also used for mock suicide, blood spatter analysis and prison scenario simulations. Scenario mannequins are stored in the locker area as seen below. If renovation and addition to

the existing facility is chosen as the path forward, purposeful reconfiguration of the underutilized or obsolete spaces is needed.



The Mannequin and Scenario Prop Storage in the Locker Room

Additional obsolete facilities such as the elevated projection room and film developing dark room are no longer needed and can be repurposed. While there has been some minor renovation of the facility, the floor plan is largely the same as it was originally. These original spaces designed to facilitate older technologies are underutilized and should be captured for current needs. A major remodel of these spaces will increase capacity and flexibility and provide state of the art classroom environments with current technologies.



One of the Adapted Tiered Classrooms Originally with Reel-To-Reel Projection



Projection Room Behind Tiered Classroom, Repurposed with a Mix of Generations of Technology

There are a few examples of where the existing space has been maximized to adapt to needs of the program changes over the years. These adaptations have been creative, well-thought-out and executed, but the WLEA has simply run out of space to make any further adaptations or changes to significantly enhance their instructional facilities.



Crime Lab Adapted to Conference Room Then Currently Adapted for Use as Recording Studio for Distance Learning

The programmatic needs identified within this report articulate the existing conditions and quantify future spaces needs to meet the instructional needs 5 and 20 years out. A detailed breakdown of each programmatic element and the space needed for those curricula are contained in Section 2 – Program and Function.

### **Facilities Condition Assessment**

The existing facility was visually examined, field measured and investigated by the entire Design Team. This field work was used to create and a detailed architectural computer model. This BIM model serves to 1) document the existing facility assessment and 2) develop a record of the existing programmed use of the existing spaces.

The existing buildings' main physical characteristics and building systems were assessed and can be found included in Sections 3 through 6 of this Study. Essentially, the existing buildings are functioning as intended. The buildings and their respective systems have been maintained very well over the years. However, the original buildings and systems are 36 years old. While some building system components have been replaced, some are original to the building. Any proposed remodel to the existing structures will require a thorough assessment of existing building components to consider modification, or demolition of existing systems. There are building envelope and building system concerns that require further destructive or scoping investigation to accurately define the existing condition. These items of concern are outlined in the specific Condition Assessments.

### **Summary of Choosing by Advantage Matrix (CBAM) Results**

The *Choosing by Advantage Decision-making\** process allows sound comparative analysis of different Alternatives based on the advantage of each Alternative. The matrix developed for this project allows those examining it to visually see the thinking behind the recommendation, the people involved in the analysis, and how each Factor was weighed. By using this process we are able to determine the most important Factors in each alternative under consideration, identify which Alternative has no advantage, define the magnitude of each Factor in relation to the other Factors and quantitatively identify which Alternative has the most Total Importance.

The CBAM was used to specifically determine the “most effective programmatic solution” for the Wyoming Law Enforcement Academy campus now and 20 years in the future. The costs related to each Alternative were not considered in the CBAM. Costs are considered separately under the Most Cost-Effective Remedy below. There are three Alternatives that were considered for the CBA process:

- 1) New site with new construction.
- 2) Existing site, remodel existing building with addition.
- 3) Existing site, remodel existing building with addition and obtaining additional contiguous property.

The eight Factors in each of the three Alternatives that were analyzed were:

- 1) Adequate space for programmatic needs for the site.
- 2) Adequate space for future growth for the site.
- 3) Adequate space for programmatic needs for the building(s). THE PARAMOUNT FACTOR.
- 4) Adequate space for future growth for the building(s).
- 5) Ability to maintain active programs through construction.
- 6) Maximum efficiency for optimum adjacencies.
- 7) Maximum efficiency for building systems.
- 8) Proximity to the City of Douglas.

The Factors listed above were analyzed for each Alternative. In each case, the Factors were compared to the programming needs that the design team developed from meetings with the stakeholders (Refer to the programming documents included in this report). Total Importance on the CBAM numerically represents the Importance of the advantages of each Alternative. The results, in the CBAM below, clearly identified Alternative 1, new site with new construction, as having the highest Total Importance of 535. The second highest Total Importance of 200 was Alternative 3, existing site, remodel existing building with addition and obtaining additional contiguous property. The least desirable Alternative was Alternative 2, existing site, remodel existing building with addition with a Total Importance score of 60.

Alternative 1 is 2.7 times more effective than Alternative 2 as a programmatic solution. It is the most effective programmatic solution. The CBAM revealed that new construction on a new site (Alternative 1) will allow all of current and future programmatic needs to be met without restriction. Because a new facility will be on a different site, it will permit construction to take place without interruption of the existing facility and programs. Existing programs can continue until the new facility is available and then be moved to the new facility. While a specific site was not presented to the design team at the time of this report, the new site is assumed to be primarily flat. A site with only minor topography will remove many constraints to developing the site for maximum adjacency functionality and will allow adequate planning for future growth and development, perhaps even permitting other related state agencies to add training facilities on the site.

Alternative 3 is a somewhat effective programmatic solution. However, there are significant limitations and assumptions included in this Alternative. Assumptions include being able to obtain contiguous property that is of a sufficient size and appropriate characteristics to accommodate all of the programmatic functions particularly hands on training facilities such as a tactical village and driving track. There are only a few options available for contiguous properties and their availability was not determined at the time of this report. Moving programmed functions such as the skills pad offsite is logistically problematic. Limitations to this Alternative are: 1) adaptations of existing end of useful life building systems with new building systems, 2) demolition of obsolete building systems, 3) operational inefficiencies from moving occupants around during phased construction to allow existing programs to continue

uninterrupted, 4) phased construction will likely cause building system redundancies. The existing building assessment in this report identifies additional existing building and site limitations.

Alternative 2 is the least effective programmatic solution and does not appear viable. In addition to the limitations mentioned above involved in Alternative 3, this Alternative does not allow for all of the programmed elements to fit onto the existing site. There are difficult constraints in terrain in the immediate proximity of the existing buildings. Over the years, the existing site has been thoughtfully adapted and maximized and now simply does not have the area to allow for all of the programmatic needs. Refer to the balance of the existing buildings assessment for additional details related to topographical site challenges.

\* Choosing by advantages decision making process was developed by Jim Suhr. Principles used were taken from the book "The Choosing by Advantages Decision making System" written by Jim Suhr, published in 1999 by Quorum Books, 88 Post Road West, Westport, CT 06881. ISBN: 1-56720-217-9

# EXECUTIVE SUMMARY

WYOMING LAW ENFORCEMENT ACADEMY - MOST EFFECTIVE PROGRAMMATIC SOLUTION			
February 6, 2020 - Dale Buckingham (ADG), Ben Reeves (ADG-Facilitator), Dave Wilson (MWL), Fernando Salazar (MWL), Craig Shavlik (KL&A), Greg Shavlik (KL&A), John Huntley (WPE), Paul Rosenvall (Stima)			
FACTORS	ALTERNATIVES		
	1) New Site, New Construction	2) Existing Site, Remodel + Addition	3) (E) Site, Remodel/Add + Additional Property
Adequate space - programmatic needs - site		Not enough space to include all programmed elements, no driving track, either EVOC or tactical village.	Contiguous property assumed adequate. Non-contiguous property more logistically problematic.
ATTRIBUTES (to 20 years growth)	Unknown - Assumed meets all needs. Least challenging	Most challenging	Challenging
ADVANTAGE -95	95		50
Adequate space for future growth - site		Some minimal growth, but not all programmed elements.	Contiguous property assumed adequate. Non-contiguous property more logistically problematic.
ATTRIBUTES (20-50 years out)	Unknown - Assumed meets all needs. Least challenging	Most challenging	Challenging
ADVANTAGE -50	50		15
Adequate space - programmatic needs - building		Meet most programmatic needs with additions.	Meet most programmatic needs with additions, with additional flexibility but possible redundancy.
ATTRIBUTES (to 20 years growth)	Unknown - Assumed meets all needs. Least challenging	Most challenging	Challenging
ADVANTAGE -100	100		25
Adequate space for future growth - building		Meet most programmatic needs with additions.	Meet most programmatic needs with additions, with additional flexibility but possible redundancy.
ATTRIBUTES (20-50 years out)	Unknown - Assumed meets all needs. Least challenging	Most challenging	Challenging
ADVANTAGE -50	50		10
Ability to maintain programs through construction		Phasing required, may require program delays or relocation offsite during construction.	Ability to develop functions without interrupting existing programs.
ATTRIBUTES (Challenges presented by alternative)	Meets all needs. Easiest	Complicated	Some challenges
ADVANTAGE -80	80		60
Maximum efficiency - optimum adjacencies		Some challenges topographically, additions required to optimize.	Challenging and operationally inefficient if not contiguous.
ATTRIBUTES	Unknown - Assumed meets all needs. Easiest	Complicated	Some challenges
ADVANTAGE -70	70		40
Maximum efficiency - building systems		Some challenges integrating new systems into existing.	Some challenges integrating new systems into existing. Potential for redundancy.
ATTRIBUTES	Maximum flexibility. Best	Challenging	Most challenging
ADVANTAGE -60	60		20
Proximity to Douglas		Existing site remains.	Contiguous property assumed adequate. Non-contiguous property more logistically problematic.
ATTRIBUTES	Unknown - Assumed within Douglas area. Better	Best	Good
ADVANTAGE -40	30		40
TOTAL IMPORTANCE	535	60	200

## Most Cost-Effective Remedy (MCER)

Contrary to what the name may imply, the Most Cost-Effective Remedy (MCER) is not exclusively about determining the least expensive Alternative. Historically, the MCER has been defined by the State of Wyoming as including consideration of the following Factors: Life-cycle cost analysis, impact on the educational programming, timeliness of addressing the need, other non-monetary benefits (i.e. historic preservation, safety, security, etc.) and preference of affected community. Therefore, the determination of the MCER must include more than just cost of the proposed Alternatives. The cost of each Alternative must be placed in the context of important factors and advantages in order to make a sound recommendation. Once a recommendation is made, the design team outlines the most cost-effective solution for that recommendation.

The CBAM was used to determine the “most effective programmatic solution” for each alternative, independent of the estimated cost for each alternative. In the following paragraph under the subheading “Recommendations”, the most effective programmatic solutions will be laid side by side with the cost estimates to determine the MCER recommendations from the design team. To be accurate in our analysis, only advantages will be identified.

## Recommendations

**Alternative 1**, new site, new construction, is the clearly recommended project approach moving forward, as it contains the most advantages of the three alternatives as an effective programmatic solution. The advantages include: 1) all programmatic needs met without encumbrances or limitations, 2) construction can take place without interrupting any of the existing facility and programs, 3) new site was assumed to be primarily flat requiring substantially less site improvements, 4) no constraints to adjacency functionality or future growth and development, 5) ease of construction without having to integrate/demolish any existing building systems, and 6) a phased approach could be strategically applied to augment the existing WLEA facility programs to increase capacity sooner until such time as all of the new construction is completed. The estimates indicate a 9.8% higher probable cost than Alternative 3, existing site remodel existing building with addition and adjacent property. Given the numerous advantages and low delta of cost difference this Alternative is the Most Cost Effective Remedy (MCER) as defined in the Subheading above.

**Alternative 2**, existing site, remodel existing building with addition, is not recommended for the reasons outlined above under the subheading Summary of Choosing by Advantage Matrix (CBAM) Results. The only advantage to this Alternative is that no new property needs to be acquired and thus it stays where it always has been. The primary reason it is not recommended is that the identified programmatic needs cannot be met with this Alternative.

**Alternative 3**, existing site, remodel existing building with addition and additional adjacent property, is the second-best recommendation. While Alternative 3 is about 10% less in cost in comparison with Alternative 1 it has no effective programming advantages compared with Alternative 1. The advantages of Alternative 1 over Alternative 2 (which is not recommended) include: 1) additions, remodel and adjacent property can meet site and building space programmed needs, with challenges, such as phased construction and strategic shuffling of functional spaces around throughout construction, 2) functional adjacencies can be developed and maintained, and 3) can meet the programmatic needs for future anticipated capacity increases, with challenges. Typically, preserving and integrating aged existing building systems with new construction requires more design and construction effort and time and thus more construction cost per square foot. In a building of this age, removing, repairing and updating existing aged building systems adds effort and cost to construction as well. Alternative 3 is recommended as an option with challenges defined throughout this report.

At the time of this report, certain assumptions were made. For example, no site had been identified as being available for Alternatives 1 and 3. If no adjacent contiguous land is available in actuality, Alternative 3 would not be recommended. If no new site could be found that meets the size and generally flat topographical requirements, then the probable costs of Alternative 1 would have to be revisited. The construction time frames in the estimates are estimated and could vary in actuality based on contractor proposed construction sequencing. Construction cost escalation for start of construction is calculated for construction starting within two years of this report. If there was a construction start delay longer than two years, additional escalation cost would have to be added into the probable cost estimate.

2.0 SPACE NEEDS  
PROGRAM

## Level One – Site Space Needs Program

The site and space needs identified for a new Wyoming Law Enforcement Academy (WLEA) identify programmatic and support spaces for an effective campus on a yet to be determined site. The identified site areas do not incorporate unknown site variables such as significant topographical changes, easements, or other constraints to a potential Option B Site's usability.

The existing WLEA Campus site represents Option A and has significant site constraints relating to site accessibility and usability. The existing site cannot accommodate all of the programmatic requirements without acquiring additional land. Potential future growth and change to the existing WLEA campus (Option A), beyond this space needs program are severely limited, and cannot accommodate the desired campus core concept (with open space) developed for Option B.

## Site Space Needs

The following site space needs analysis assigns square footage to three categories (A through C) that accommodate the total site area needed for the proposed new WLEA campus. These space needs categories are:

A. Component Site Areas (Site requirements for WLEA Training Component Needs 01 – 08)

The component site areas provide the site area to support each building, structure, and prop, with anticipated open space (landscape, expansion potential, buffer / security / screening).

B. Parking and Core Circulation Area Needs

Parking needs are identified by the number of vehicles anticipated at each WLEA building and site training component that generates a parking need (with an assumption regarding the number of persons per vehicle), multiplied by the square footage needed for each parking space (including a portion of the parking aisle for each space). For example, the proposed conference center shall have a capacity of 600 attendees, but only 200 parking spaces shall be provided (1 parking space per 3 attendees). Primary parking generators for the core campus training functions are the staff offices, dormitories, and the conference center. Staff and trainees can typically park once and walk between training and support components. Training components outside the core campus functions can generate parking needs.

The Core Circulation Area represents significant amounts of onsite roadway and parking aisles, as well as an anticipate plaza entry to the core campus facilities. We have also provided a landscape factor of 4% of the parking and circulation space for medians and perimeter landscaping, that can accommodate some snow storage area as well.

C. Miscellaneous Site Areas

Miscellaneous site areas include the various non-program specific components that help assure an effective, secure, and safe training campus.

## SITE SPACE NEEDS PROGRAM

As a reference, these site areas are comparable to the site areas in the diagram for Option B (a new WLEA site, yet to be determined). Refer to the Facility Space Needs spreadsheets for more detailed space needs and information regarding each WLEA facility component.

Wyoming Law Enforcement Academy

- Space Needs Program •

Site Component Description	# of Parking Spaces	Component Standard SF	Site Footprint Area	2040
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**SUMMARY**

<b>A. COMPONENT FACILITY SITE AREAS</b>				3,668,113
<b>B. PARKING &amp; CORE CIRCULATION</b>	646		227,500	236,600
<b>C. MISCELLANEOUS SITE AREAS</b>				598,367
<b>TOTAL SITE AREA (SF)</b>			*	<b>4,503,080</b>
<b>TOTAL SITE AREA (ACRES)</b>			*	<b>103.38</b>

\* This represents usable site area and reasonable perimeter setbacks for a site yet to be determined, but does not include unusable site area due to significant topographical variation, easements, or other unknown site constraints

**A. COMPONENT FACILITY SITE AREAS**

**Core Campus Components**

- 01 Administration/Instructor/ Staff Offices and Support Spaces
- 02 Lecture/Classroom/Laboratory/Meeting Facilities
- 03 WLEA Support Spaces

- Lobby
- Fitness/Lockers/Toilet and Shower Facilities/Storage
- Food Service/Dining/Break Space/Storage
- Facilities/Maintenance

- Dormitory Facilities A/ Existing (anticipate for BLET only)
- Dormitory Facilities B/New (for Advanced Training/Guests)
- Housekeeping
- 04 Defensive Tactics
- 05 Specialty Scenario Training

197,496

Except receiving temp. storage bldg.

Excludes Maintenance Storage Building

Wyoming Law Enforcement Academy

- Space Needs Program •

<b>Receiving &amp; Temporary Storage Facility / Secondary Site Entry</b>	<b>51,393</b>	1,500 SF 5,760 SF 1,200 SF
03 Receiving and Temporary Storage		
Emergency generator, fuel tanks		
Receiving Building Circulation and Staging Area		
Trash dumpster enclosure & recycling area		
<b>Maintenance Storage Building</b>	<b>60,588</b>	
03 Maintenance Storage Building		
<b>Indoor 50 Yd Firing Range (30 Lanes)</b>	<b>84,080</b>	
06 Firearms Training and Support		
<b>Outdoor Baffled Firing Range 100YD / 300 YD (12 Lanes)</b>	<b>515,990</b>	(60,00 SF) 12 shooting lanes; 6' wide; baffled; contained rounds fired from 100yd and 300yd firing distances 600 SF
Containerized firing range storage and concrete pad		
<b>Tactical Village</b>	<b>277,908</b>	
07 Tactical Village streets, sidewalks, open space, training structure blocks		
Block 1 (2 story multi-purpose facility; multi-storefronts; technology rich; monitoring and recording; center hall; stairs and balconies)		(20, 250 SF) Includes: 2,000 2-Story residence,
Block 2 (courthouse / security prop; vehicle sally port; booking / holding facility)		(6,000 SF) Includes: 12,100 SF (3,000 SF) Includes: 1,800 Convenience Store, 1,200 Bar
Block 3 (convenience store; bar props)		(5,884 SF) Includes: 3,379 SF Motel, 1113 SF Single Wide, 1,392 SF Dbl Wide
Block 4 (motel; single and double wide mobile homes)		(9,600 SF) Includes a 9,600 SF School
Block 5 (school)		30' wide streets with and w/o sidewalks; 20' wide streets
Tactical Village streets, sidewalks, open space, training structure blocks		

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<b>Tactical Village - Rural Road Access</b>					<b>198,936</b>
<b>Off-Road / ATV Course</b>					<b>74,535</b>
<b>EVOC Driving Track and Skills/Skid Pad Training</b>					
08 EVOC Driving Track				1400' straight-away; multiple curves, roads, intersections, significant buffer space	<b>1,416,033</b>
08 EVOC Skills/Skid Pad				750' x 500' needed now, ; double in future	<b>589,444</b>
<b>EVOC Support Facilities</b>					<b>54,363</b>
08 Shop/ Maintenance Building				(2,940 SF)	
08 EVOC Vehicle Storage Building				(6,880 SF)	
<b>SITE PERIMETER OPEN SPACE</b>					<b>147,347</b>
Landscape and Expansion Space					
<b>Subtotal</b>					<b>3,668,113</b>
					<b>84.21</b>
					Square Footage
					Acres

<b>B. PARKING &amp; CORE CIRCULATION</b>					
01 Administration/Instructor/ Staff Offices and Support Spaces	35	350			12,250
Delivery / loading	2	350			700
02 Lecture/Classroom/Laboratory/Meeting Facilities					
Conference Center	200	350			70,000
Delivery / loading	2	350			700
Forensic Center Vehicle access / temp. parking	1	350			350
Maintenance Vehicles (temporary)	2	350			700
03 WLEA Support Spaces					
Lobby / Visitors, tour groups	12	350			4,200

Assume 1 parking space per staff  
governed by dormitory capacity  
Assume 1 parking space / 3 attendees for conf. center / large events; shared parking use anticipated for proposed Board Room (40 Capacity)

typ. visitor traffic; not large event

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• Space Needs Program •

Fitness/Lockers/Toilet and Shower Facilities / Storage	2	350	700	temporary parking; staging
Food Service use (7 staff + 1 temp. vehicle parking space)	8	350	2,800	
Facilities Maintenance use (3 staff + 1 temp. vehicle parking space)	3	350	1,050	
Central Receiving and Temporary Storage Facility	4	350	1,400	temporary parking; staging
Dormitory A (BLET) w/double occupancy rooms	110	350	38,500	112 adjusted to 110 to accom. Handicap requirements
Dormitory B (Advanced Training / Guest Instruct., single occupancy rooms)	110	350	38,500	112 adjusted to 110 to accom. Handicap requirements
Housekeeping Service use (6 staff)	6	350	2,100	
04 Defensive Tactics	1	350	350	temp. parking / vehicle access
05 Specialty Scenario Training	1	350	350	temp. parking / vehicle access
06 Firearms Training and Support (3 staff growing to 6)				
Indoor Firearms Training and Support (30 trainees; 30 firing lanes)	36	350	12,600	potential outside agency advanced training use, separate from trainees in dormitories
100yd/300yd Outdoor Baffled Firing range use	32	350	11,200	2 groups of 12 trainees + 4 instructors
07 Tactical Village Training	20	350	7,000	
08 EVOG Driving Track and Skills/Skid Pad Training	40	350	14,000	parking for training vehicles at driving track, and skills pad
09 Other Component Onsite Parking				
Oversized vehicle parking (large vehicle or truck and trailer comb	5	550	2,750	confirm quantity
Grounds and landscaping maintenance	2	550	1,100	confirm quantity
Accessible Parking (10 standard + 2 van parking spaces)	12	350	4,200	ADA 208.1 exception avail for delivery vehicles, buses, trucks, and law enforcement vehicles
Subtotal	646		227,500	
Landscape medians / Snow Storage / Perimeter (Percentage of parking & circulation)		4%	9,100	
<b>Total</b>			<b>236,600</b>	Acres
			<b>5.43</b>	

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4/30/2020

WLEA\_Space Needs Assessment 043020.xlsx

Wyoming Law Enforcement Academy

- Space Needs Program •

<b>C. MISCELLANEOUS SITE AREAS</b>		
Expansion Area	174,123	<i>East of the campus Core (7,244 SF) vehicle staging on unsecure and secure side of gates Assume 50' setback all around</i>
Primary site access and Security gate	7,244	
Site perimeter setbacks (accommodate screening; security fencing; lighting)	417,000	
<b>Subtotal</b>	<b>598,367</b>	
	<b>13.74</b>	Acres

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 4.5

## Program and Function

### Existing Campus

The existing Wyoming Law Enforcement Academy (WLEA) is comprised of 90,686 SF of existing academy facilities, including 2 metal support buildings and outdoor training areas, on a site of 53.7 acres. The site has significant topographical variation that limits facilities expansion opportunities. Access to the campus is from a single access road, which can create traffic congestion and potential problems for emergency response vehicles and personnel. A second site access road may be feasible but will be very expensive to achieve. The existing site has privately owned properties to the south and west, which offer the only expansion opportunities, and these properties are not currently for sale. Even if these properties can be acquired, they have significant topographical variation that will make site development costly and inefficient.

The original main campus building was a compact solution for the primary training and support components, which utilized the limited low sloped area well, but makes future expansion difficult without breaking apart the preferred adjacencies or dislocating functions to other site areas.

The WLEA site does not currently include a higher speed Emergency Vehicle Operations Course (EVOC) driving track and support facilities, or a tactical village training area. Additional site area is required to accommodate these important components. While providing for



Aerial photo of existing WLEA site in Douglas, WY

weapons training, the current firing ranges are outdoors and uncontained (a safety concern for fired rounds leaving the campus) and the target systems are at the end of their useful life. See Appendix 2 – Current Tasks with no Functional Space. This appendix outlines the WLEA training tasks that cannot be physically / practically demonstrated or experienced by trainees due to the lack of a tactical village and EVOC driving track. Currently, students receive only limited hands on training for these course studies.



WLEA Site Expansion Needed to Accommodate All Required Training Functions

## WLEA Goals

### Accommodate current and anticipated growth in training requests:

Basic training requirements must be completed within the state mandated time frame (1 year from date of hire) for new recruits, and advanced training needs to reasonably accommodate in-service training needs for agencies across the state. WLEA has had difficulty accommodating all training requests for many years. Basic training requests have been increasing significantly, and recently a new funding source for advanced/in-service training has become available to Wyoming police agencies, resulting in an increase in these training requests.

### Anticipate an increase in the total training hours required within the course curriculums:

Additional required training hours will add more days / weeks to each basic training course. POST has also recently added requirements for specific advanced training topics that each officer needs to incorporate into their annual continuing education hours needed to maintain their certification. These additional requirements are in highly critical liability areas that typically should involve more hands-on, practical based training rather than simple classroom lectures.

### Add higher speed EVOC Driving Track / Complex, and a Tactical Village training environment:

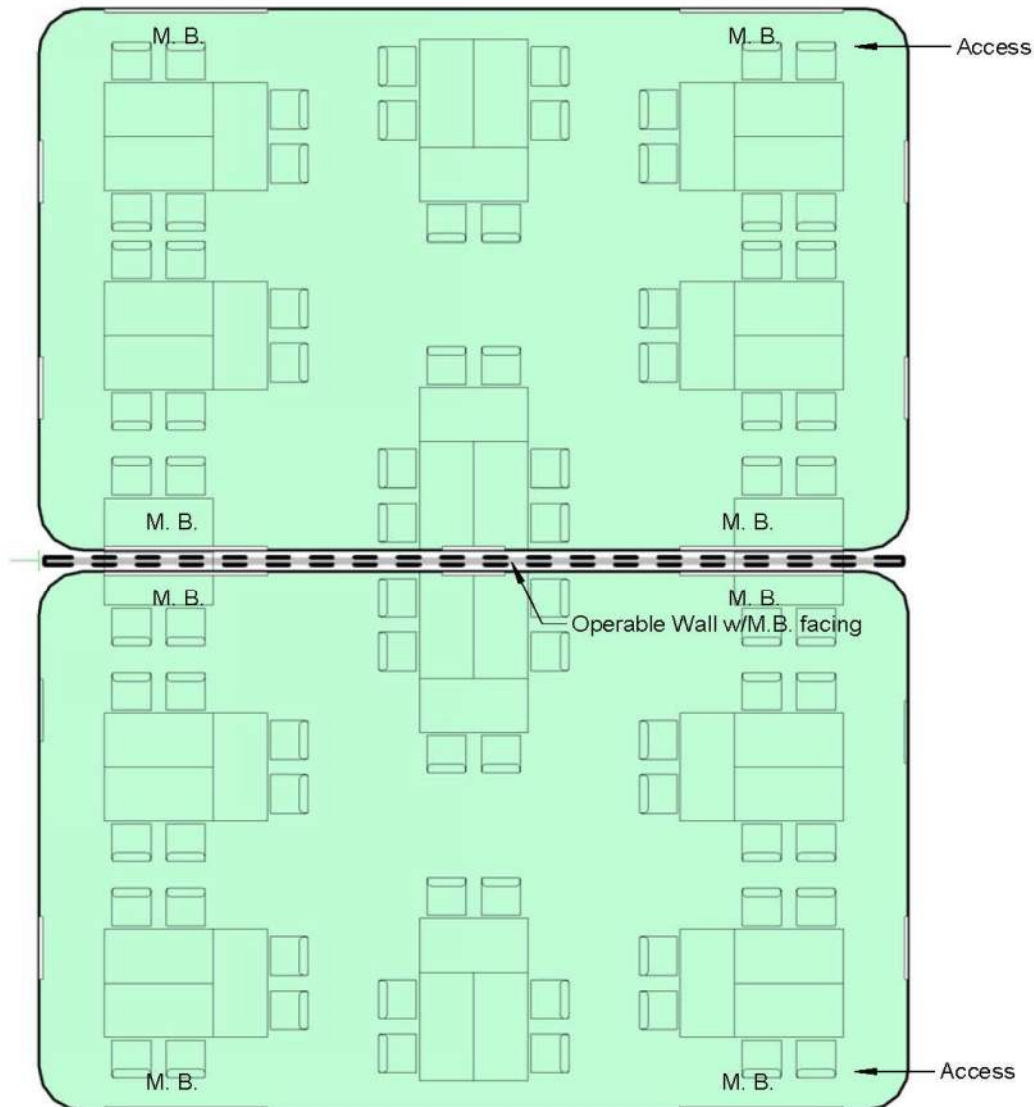
WLEA staff and trainees currently must schedule and travel to remote locations to accommodate these training components. This situation makes it challenging to schedule adequate time at appropriate facilities and is inherently inefficient due to the significant travel

## PROGRAM AND FUNCTION

time involved. Adding these components would significantly increase WLEA training requests due to the increasing demand for these specialty training opportunities (Wyoming and nationwide), as law enforcement training moves toward more hands-on / reality-based training. The addition of these training components would make WLEA training very comprehensive and responsive to the requesting agencies across the state.

Move towards adult learning modalities of training and incorporate more problem solving and practical exercises in basic training:

This includes the addition of tactical village training opportunities, enhanced scenario training capabilities, and classrooms that support instruction for trainee workgroups.



### SMALL C.R. (40)

Concept image for a new small classrooms that supports small group instruction

## PROGRAM AND FUNCTION

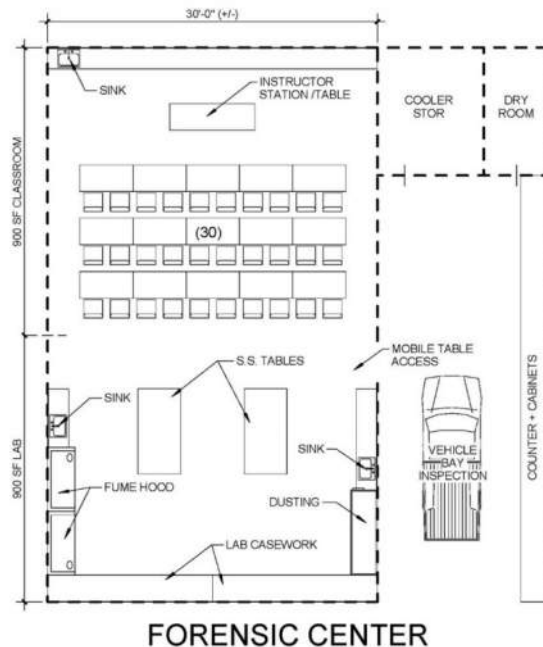
The classrooms and other instructional space shall have adequate space allocation and flexibility to accommodate a variety of courses and adult learning modalities. As this more interactive method of training increases, more instructors will be required than for standard classroom instruction (reduced ratio of students per instructor for hands on training).

Incorporate state of the art technology that will support the desired training capabilities:

Technology should anticipate significant increase in video teleconferencing, distance learning, and significant capabilities and requirements of vendor supplied equipment and systems. The technology infrastructure should anticipate complete connectivity across the campus, separation of a visitor and WLEA training network, and the ability to join classroom and scenario training with onsite training scenarios from the tactical village and EVOC components (e.g. 911 communications training that interacts with officers responding to mock events in the tactical village). Technology should support remote training participation for those who are unable to attend training due to weather / travel restrictions, or if attendees are sick.

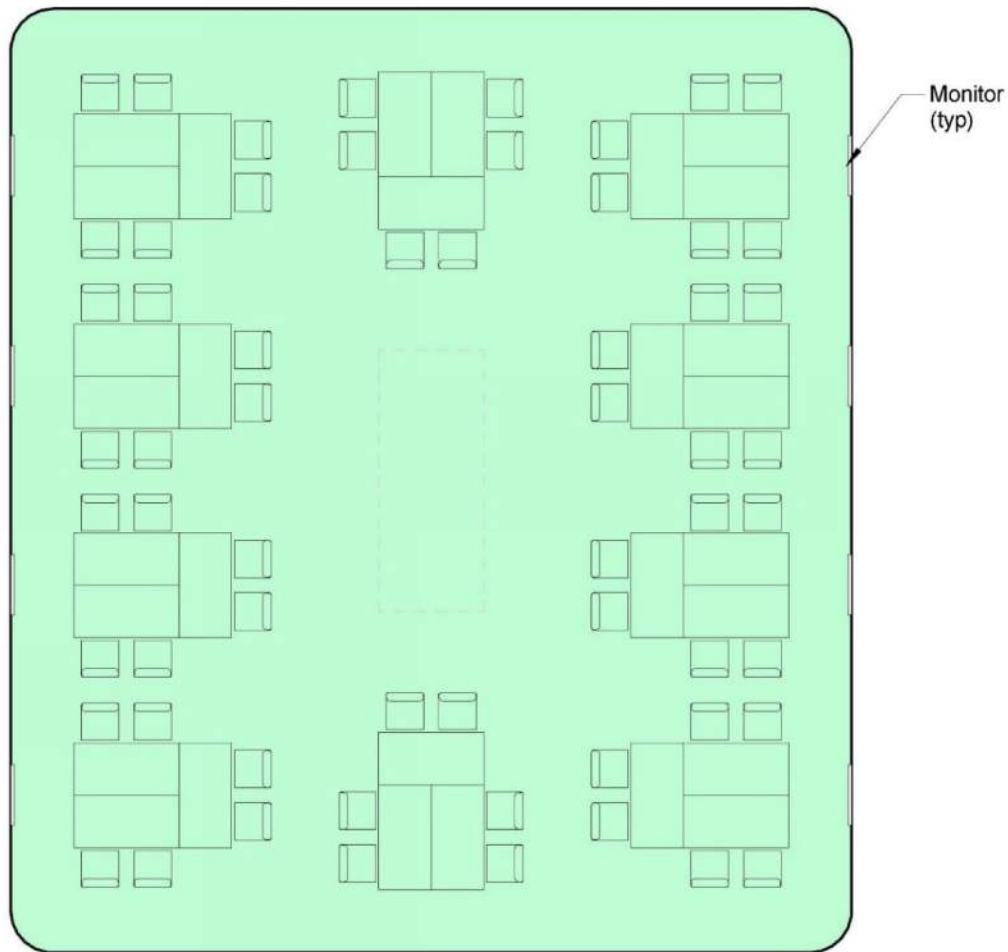
Incorporate specialty lab instructional space:

Examples are the Forensic Center; Weapons/Use of Force Simulator Training Spaces; and the Dispatch Training Classroom. The Forensic Center addresses specific needs of coroner and law enforcement forensic trainees, with laboratory and classroom space, as well as support space for forensic garage / vehicle inspection, and cooler storage. The existing Weapons/Use of Force Simulator space will be enhanced to take advantage of current technology and vendor applications – requiring additional space. The Dispatch training classroom would incorporate communications consoles and instructor displays, supported by technology and software that allow more interactive, realistic training.



Concept Image for a New Forensic Center for Specialty Forensic / Coroner Training

## PROGRAM AND FUNCTION



### **BLET CR (60) ADVANCED (60)**

Concept Image for a New Large Classroom that Supports Small Group Instruction

#### Enhance Classroom capacity and flexibility:

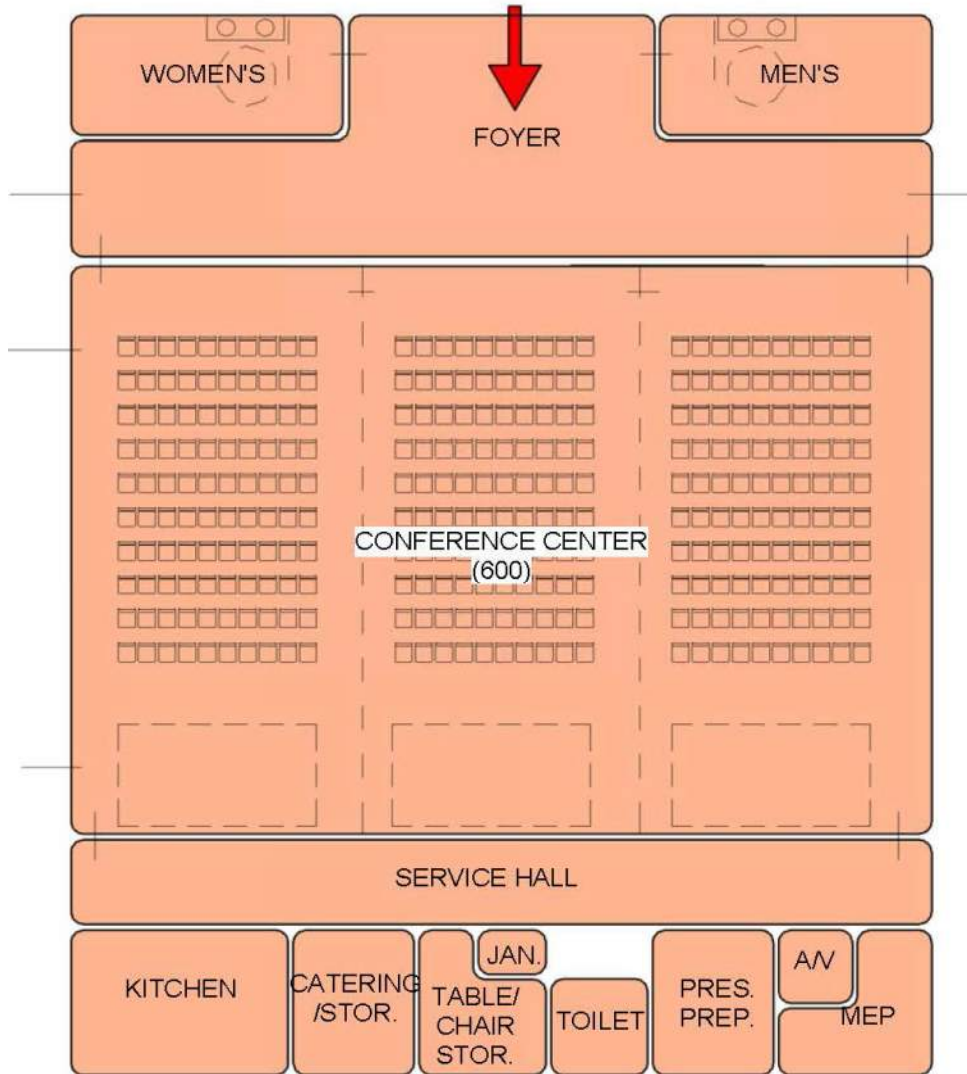
Existing classroom sizes vary, and are limited to capacities of 30, 40, and 50 students. New classrooms need to be modular in size and based on Basic and Advanced training classes of 60.

#### Incorporate a conference center to accommodate up to 600 people:

The conference center is anticipated to accommodate 600 people (seated only) and be dividable into 3 separate spaces for 200 people (seated only). This would allow for large events such as graduations and hosting regional conferences, as well as providing multipurpose instructional space for basic and advanced training. This shared use would allow for a high utilization of this large space. Storage space is anticipated for chair and table storage, allowing various setups to occur depending on the event. Support space is also anticipated to allow the

## PROGRAM AND FUNCTION

food and dining service facilities to cater events at this facility, as well as relying on outside caterers.



### CONFERENCE CENTER

Concept Image for a New Conference Center

#### Accommodate POST offices within the administration:

Onsite office space will enhance collaboration and coordination, as the WLEA seeks to enhance the training offered.

#### Accommodate housing for all trainees and visiting instructors onsite:

As a state law enforcement training center, the ability to accommodate basic and advanced trainees, and guest instructors, is limited by the on-site dormitory capacity. With Basic trainees filling up nearly all of the dormitory rooms during each peace officer training session, WLEA

anticipates adding a separate dormitory for Advanced Trainees and guest instructors, essentially doubling the current onsite housing capacity.

### Enhance the security and safety for the WLEA site and facilities:

A security assessment was completed by Homeland Security in 2007, indicating significant limitations to site and facilities security, and identifying that the greatest threat would be from within the student population. The report also cited the single ingress / egress for the site as a serious weakness. Significant security and safety enhancements can be accommodated at the existing WLEA site, in the expansion and additions to the existing facilities; however, it may be difficult to incorporate a second site ingress/egress due to the significant site topography, and private ownership of adjacent lands.

### **Project Approach**

#### Develop a comprehensive understanding of the existing WLEA site and facilities:

Our team toured and documented the existing site and facilities with WLEA staff to understand: the modifications that have occurred over the years; what has been successful; and where they are challenged by the facility component sizes, adjacencies, and technology. This helped our team to identify the 'value' of the current facilities, with the goal to reuse core main building spaces, and develop expansion areas where needed to accommodate programmatic needs of WLEA. Our team included costs associated with any deferred maintenance and required 'updating' of existing facilities to meet current code / ADA requirements. The cost and effectiveness of the existing campus expansion will be evaluated against a potential new project site, and anticipated development costs.

#### Develop a comprehensive understanding of the programmatic needs:

Our process included developing and distributing questionnaires specific to 8 training component and support categories (reflected in the program narratives and facility space needs of this document), and dialoguing with WLEA stakeholders regarding their responses, in subsequent stakeholder work sessions.

The programmatic needs define the site and facilities space needs to be accommodated in either or Alternative 1 (new WLEA facilities on a new site – to be determined) or Alternative 3 (existing facility expansion). The programmatic needs were developed with (and are dependent upon) the confirmed key concepts and adjacencies.

#### Develop the desired physical adjacency, access, and circulation requirements between program components:

The definition and communication of desired adjacencies is developed in conjunction with the programmatic space needs and allows for confirmation of space needs and effectiveness achievable under each development alternative (1 or 3). If key adjacencies are not possible at the existing WLEA campus, it could require redundant support space to assure effectiveness. An example: if the proposed new dormitory facilities are not convenient to physical fitness and tactical training, additional toilet/shower/locker facilities would be needed in addition to students accessing dorm rooms for shower facilities).

#### Develop a phasing strategy:

A phasing strategy is critical to Alternative 3's ability to renovate and expand the existing training campus site and facilities, while maintaining WLEA operations without interruption of BLET and Advanced training activities. Alternative 1 (new WLEA training site) development is separate from existing training activities and constraints that would impact its implementation.

### Proposed New WLEA Alternatives

Of the three possible Alternatives considered in the Choosing By Advantage methodology, the top two are presented here:

Development of a new WLEA Campus on an acquired site: (Alternative 1)

A new WLEA training campus is anticipated to require approximately 103 useable acres (plus allocation for setbacks, easements, etc.), with at least 2 points of access.

The availability of additional contiguous land for the incorporation of other state training agencies should be explored to identify potential efficiencies for the training campus. Other state law enforcement training campuses are considering incorporating state fire training and other agencies such as corrections, to gain effective use of specialized training opportunities.

Expansion of the Existing WLEA Campus: (Alternative 3)

The programmatic requirements identify over 200K SF of facility's needs, and approximately 103 acres to accommodate the current and anticipated demand for training. This represents a significant increase to the existing 53.7-acre WLEA campus, if the campus and facilities are to be expanded to meet training demands.

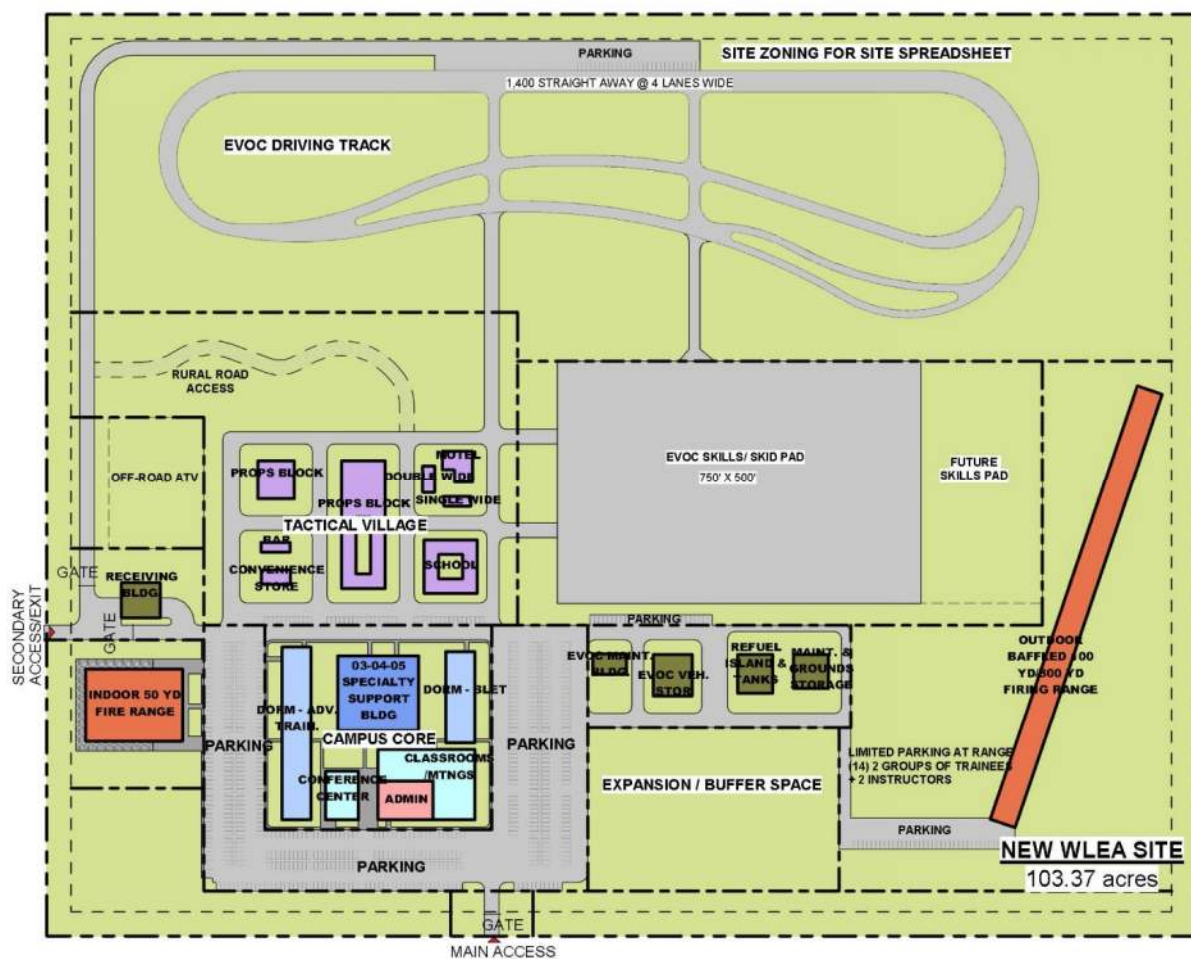
The new WLEA campus would be planned for the increased training capacity required. If other agencies are anticipated for collocation at the WLEA site, additional site area and capacity would be needed to accommodate increased use of shared training opportunities, and for any other agency dedicated space needs (site and/or facilities).

The new WLEA campus shall be planned in a semi-compact layout to allow for future / long-term growth while maintaining proper adjacencies. However, the training components shall be in proximity that will assure effective training days, and efficiency of training components. An example is to maintain dormitory facilities for BLET and Advanced Training that would not necessitate adding significant toilet/shower and locker facilities (relying on students using toilet and shower facilities at their dorm rooms).

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## Alternative 1: New WLEA Site

Our team applied the programmatic criteria and concepts to a new site scenario, with the understanding that a new site has yet to be determined. The Level 1 study information provides significant direction for site selection, however; the adjacencies for facilities and site improvements are shown without specific constraints that will be a part of any new site. We have assumed that the new site will meet the key criteria identified (adequate area for all components and buffer spaces, relatively flat topography, a Douglas area location, multiple site ingress/egress points, a site configuration that will accommodate efficient and effective adjacencies, and with compatible neighboring property uses). Once potential properties are identified, they can be evaluated (against key criteria) for effectiveness as a new WLEA campus.



Concept Image for a New WLEA Training Campus – Site Yet to be Determined

## Alternative 1 Phasing

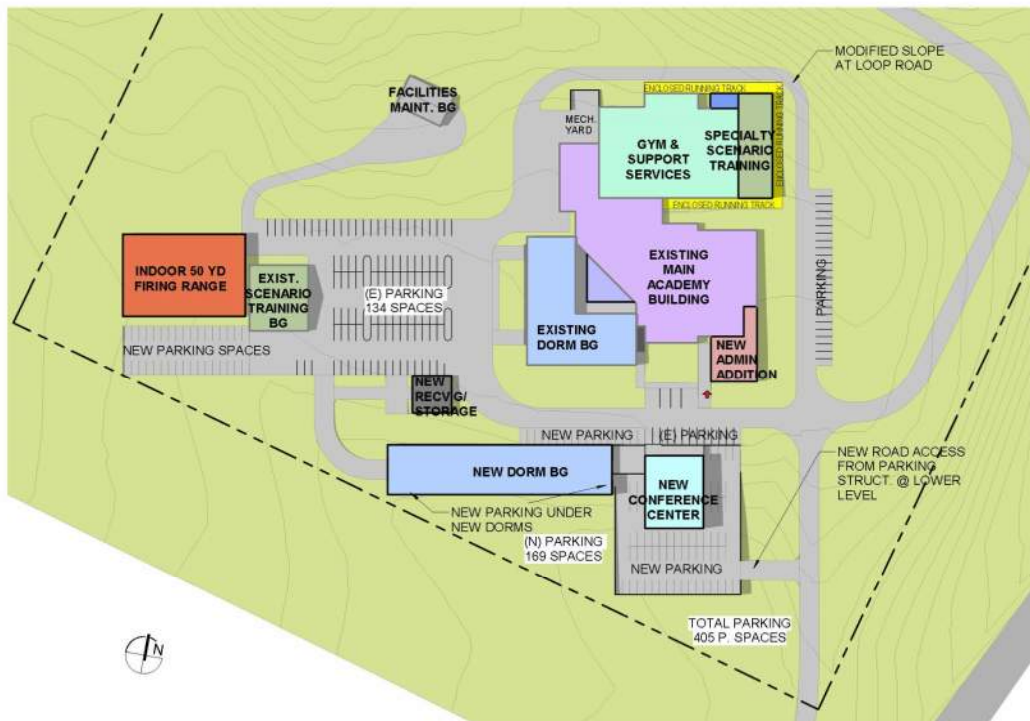
An important difference between Alternative 1 and 3, is that phasing for Alternative 1 becomes relatively simple. WLEA can continue to operate from the existing site until spaces become developed on a new site. The Alternative 1 site could also focus on developing the training components that do not exist on the current site (higher speed EVOC driving track and tactical village environment) and enhance WLEA capabilities early in the development of the new

## PROGRAM AND FUNCTION

campus, and while still operating from the existing site. The development of the new indoor 50yd firing range (to replace the existing 'blue sky' outdoor firing range) is also a top priority for WLEA, that could be developed as a phase one component, while training remains operational at the existing campus/site. The new site development can occur without the constraints of the WLEA training schedule, and the contractor can have control of the entire site. As the new site and facilities development approaches completion, a thorough punch list and commissioning period can be completed without impacting staff and trainees.

### Alternative 3: Existing WLEA Site and Facilities Expansion

Our team evaluated the existing site and facilities, and identified constraints and potential opportunities, to inform expansion and addition recommendations. The detailed component diagrams and site adjacencies development led to an option that meets the programmatic requirements for training components that currently exist, plus some additional specialty classroom / lab instruction and support spaces.



#### WLEA PARTIAL EXISTING SITE PLUS ADDITIONS

Concept Image for the Renovation and Additions to the Existing WLEA Campus

However, significant land area is needed for the higher speed EVOC Driving Track and Tactical Village training environments, which have not been a part of the WLEA campus and cannot be accommodated on the current WLEA site. Private property (not currently listed for sale) abuts the existing site to the west and south and are the only directions the site could potentially expand. These potential land areas have significant topography, which may not allow for efficient or cost-effective development – if they were to become available for acquisition.

### Alternative 3 Phasing

The complication with the potential significant renovation and expansion of the existing WLEA campus, is maintaining operations during construction activities. A phasing strategy would need to allow a contractor reasonable space for materials and working space, along with effective work hours to accomplish the expansions and additions. The phasing strategy would also need to mitigate interruptions to the WLEA training schedule. This will be challenging due to the following:

- Inflexibility of WLEA training calendar due to full capacity and advanced reservations by multiple agencies across the state.
- A single site access that will have to be shared by WLEA and construction traffic.
- A full training schedule and onsite housing, dining
- Trainees on site day and night during the week, and over weekends.
- Scheduling deliveries and trades access, and unpredictability of weather delays.
- Smaller and shifting contractor work areas, and complicated coordination with WLEA training (anticipate additional time to the schedule and cost for contractor access limitations).
- Demolition in phases that correspond to contractor work areas and need to keep WLEA components operational.

The phasing strategy should seek to mitigate these issues by:

- Developing a construction access along the south property line, limiting interference with WLEA traffic to and from the site.
- Developing 'swing' space for relocation of staff support and training areas during facilities expansion/addition (new facilities such as the conference center with flexible interim uses, modular buildings, etc.)
- Coordinating a detailed schedule of WLEA training days / hours, and proposed contractor workdays / hours

WLEA anticipated relocation from the current site during construction (renovation and expansion activities):

WLEA staff anticipate being able to maintain their training schedule as a contractor develops new buildings and site areas that are separate from the main administration / classroom / support building. However, as construction renovations and additions move to this primary WLEA building, all staff, equipment, and training activities will need to relocate to temporary training and support facilities. Due to the unique training requirements of the WLEA, specialized temporary training facilities will need to be developed wherever the temporary training occurs. Depending upon the accessibility of the existing site for newly developed specialized training components, such as the EVOC driving track and skills pad, tactical village, and indoor firing range, additional travel and costs may be required for an interim period of time. The temporary offsite training and support facilities are anticipated for a period of 10-12 months during the construction period, to maintain a reasonable training schedule and provide reasonable contractor site access and work area.

We note that suitable temporary facilities may be challenging to find, and will likely require WLEA schedule modifications depending on availability, and temporary modifications needed to support WLEA training.

### **WLEA General Site Needs**

The WLEA site, whether the existing campus or the proposed new site, should accommodate the following:

- Good visibility for visitors and trainees to the WLEA from various locations within the state.
- At least 2 separate site ingress / egress points, for separation of WLEA operations use from delivery / service access, as well as providing for emergency service and security access.
- Site security components to prevent vehicle access to secure areas, protect facilities from vehicle ramming potential, and keep unauthorized people from wandering onto the training site
- Limited topographical changes to accommodate relatively level EVOC skills pad and driving track areas, without incurring significant development costs. The EVOC site components are significant in size.
- A 'regular' shaped site that accommodates the desired training component adjacencies.
- Adequate site area for current and identified future space needs.

### **WLEA General Facility Needs**

The WLEA facilities, whether the existing campus or the proposed new site, should accommodate the following:

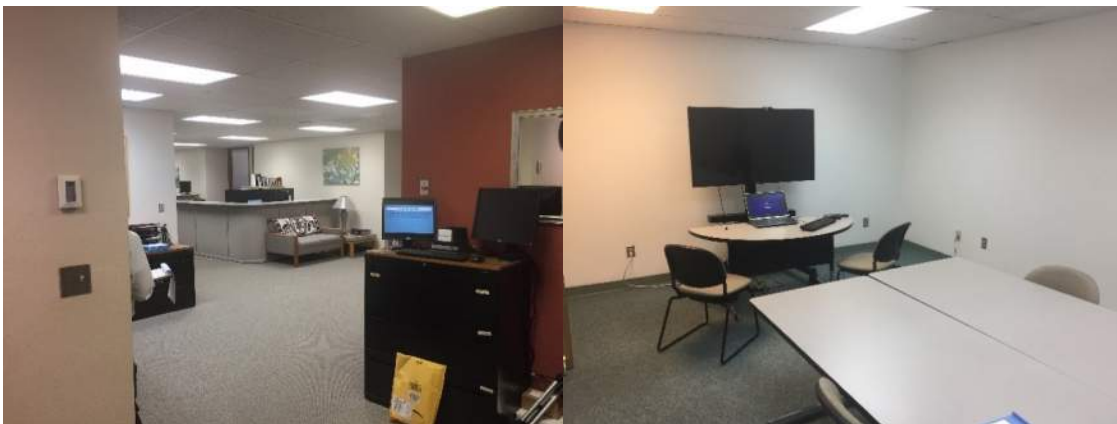
- Identified facility space needs, with desired adjacencies, to avoid needing redundant facilities.
- Emergency generator power (diesel) for all WLEA facilities
- The unique requirements of training and support components: acoustical (noise separation and noise reduction); bullet resistance; technology (A/V instructional support, management, training simulation, etc.); security (active systems for monitoring and recording, access control, and alarms).

## WLEA Functional Components

The following identifies key criteria to be accommodated in Alternatives 1 and 3. However, we identify that components 7 and 8 do not currently exist at the WLEA site and cannot be accommodated in Alternative 3 without acquiring additional land.

### 1 Administration/Instructor/Staff Offices and Support Spaces

- The existing facility accommodates current WLEA staff and office space for Wyoming POST, however, POST offices are not located within the administration area. Additional space is needed at the administrative office area to accommodate desired adjacencies, to increase the size of the existing breakroom (seating and vending machines), and to accommodate future staff and an executive conference / board room (shared WLEA and POST use). Security is a concern, with the existing administration area being accessible directly off the lobby with limited camera monitoring and access control. WLEA only has 2 internal cameras and 5 exterior cameras to cover the entire site and facilities, with many entrances and secure areas uncovered.



Existing Administrative Office and Conference Area

- Accommodate staff growth to 35 total, including: an additional 6 staff instructors; a future curriculum specialist; 3 additional WLEA and POST training specialists; and a shared guest instructor office. Administration offices are planned to accommodate welcoming access, but with security for staff, and ability to screen visitors. These offices anticipate natural daylight for private offices and open workstation areas. A future board room shall be accessible from the lobby during day hours and in evenings, without accessing the administrative offices. Conference / meeting rooms, as well as office workstations, shall anticipate increased video conferencing use.

## PROGRAM AND FUNCTION



Concept Images for Administration Office and Break Area

## 2 Lecture/Classroom/Laboratory/Meeting Facilities



Existing Conference Room

## PROGRAM AND FUNCTION



Concept Images for Conference Rooms

- Existing classrooms  
Existing classrooms are limited to capacities of 30, 40 and 50 students. The existing Testing Classroom used to be the library and can only accommodate 40 desks. The use of laptops and standard desk size will allow for increased capacity, but the room still needs to increase in size – beyond the existing building footprint.



Existing Testing Classroom

## PROGRAM AND FUNCTION



Existing Tiered Classroom

- New classrooms need to be modular in size: 4 large classrooms need to accommodate 60 (2 for basic training and 2 for advanced training class sizes) with the ability to open up into 2 classrooms (basic and advanced training) for 120 when holding joint training sessions. Basic training and advanced training will each need a small classroom for 30 student capacity (1/2 large training class capacity) with ability to open up to a shared use 60 student classroom capacity.
- New Classroom flexibility to accommodate small group student/trainee groups  
WLEA desires to move from the limitations of the current classroom environment – only able to accommodate student capacities in rows facing the head of the classroom and instructor. While there are times when this is acceptable, new classrooms should be developed to accommodate small student/trainee groups (4-6), working together, with ability for the instructor(s) to provide overall class instruction and with individual student/trainee groups. This new classroom type will require more area and monitors to support each group, and audio-visual support for presentations to the entire classroom.

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Concept Images for New Classrooms (With Operable Wall for Sub-Dividable Space)

- Existing Specialty Classroom / Laboratory Spaces / Simulator Training Spaces



Existing Weapons / Use of Force Simulator Space

- New Specialty Classroom / Laboratory Spaces / Simulator Training Spaces  
Specialty classroom / laboratory spaces allow seamless transition from instruction to hands on application, and scenario training application. Forensics and Coroner training, and 911/dispatch training are currently provided at WLEA, and increasing this hands-on training is anticipated.

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Concept Images for New Forensic Center, Dispatch Training Lab, and Weapons / Use of Force Simulator Training

- Existing Gymnasium – used for conferences  
The existing gymnasium is a multipurpose space that has also been used for graduations and larger training sessions – requiring significant setup and take down time for the varied uses. WLEA has received multiple requests for large conference venue space, but the gymnasium does not have the capacity and appropriate environment to accommodate these requests. The gymnasium is limited to approximately 200 people in chairs, and the acoustics are not appropriate for conference center use.



Existing Gymnasium has Multiple Uses, With Limitations

## PROGRAM AND FUNCTION

- Conference Center to accommodate a maximum capacity of 600  
WLEA does not currently have a conference center and cannot adequately support large venues. The gymnasium provides for all larger functions, with many requests for larger venues by denied, or rejected by the requesting entity due to the facility limitations. The conference center will accommodate WLEA needs, as well as providing space for outside agencies on a regular basis (helping to amortize the cost of this needed facility).

The conference center shall have flexibility to subdivide into 3 separate conference spaces (using operable walls) with a capacity of 200 each. The conference center is anticipated to accommodate multiple venues/sizes, which includes large events such as academy graduations and major conferences, and smaller meetings / conferences.

The conference center will also be an important component to the Alternative 3 phasing plan, allowing for interim uses for office and classroom space as the main WLEA facilities are being expanded. The conference center has significant potential in Alternative 1, to expand the reputation and offerings of the WLEA, especially if additional agencies become participants / trainees at the expanded campus – which has happened over the years, following the initial design for law enforcement only. Other agencies that have utilized WLEA include Wyoming Highway Patrol; Wyoming Game and Fish; Wyoming Department of Corrections; Law Enforcement Chaplains Association; Wyoming Victim Services; Wyoming Association of Sheriffs and Chiefs; and Wyoming State Fair. Other state law enforcement training centers in the U.S. have attracted state fire academies, and significant federal public safety agency use.



Concept Images for New Conference Center (Flat and Sloped Floor Options)

### 3 Support Facilities

- Support facilities include various spaces that support the training mandate for BLET and advanced training. These facilities need to increase in size proportionate to the volume of law enforcement training, which has increased significantly from what was originally anticipated at the existing WLEA campus.
- Existing Lobby and public spaces



Existing WLEA Lobby

- New lobby and public spaces/toilet facilities/MEP: lobby space, display/store space, and toilet facilities are anticipated to accommodate the anticipated increase in number of trainees and other visitors, including larger training conferences hosted by outside organizations; lobby access shall incorporate additional security to limit visitor access while providing clear and effective reception and information.

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Concept Images for New Lobby and Store / Canteen

- **Existing gym/lockers/toilet and shower facilities/storage**  
The existing locker, toilet, shower facilities are underutilized due to the close proximity of student dorm rooms. In Alternative 3, a limited number of toilet / shower rooms have been provided to supplement the primary use of student dorm rooms for showering. A limited number of lockers have been allocated adjacent to these toilet / shower rooms for visiting instructors or others who have need for them.



Existing Locker and Shower Facilities – Under-Utilized Space

- **New gym/lockers/toilet and shower facilities/storage:** the current gymnasium provides for multipurpose activities, and recreation; the desired new facility shall enhance the fitness training ability (including an indoor running track integrated into the facility to assure use throughout the year) and limited toilet / shower and locker facilities; the current dormitory rooms are in close proximity and allow for timely access by students / trainees for showering and changing, and new dormitory facilities shall be in close proximity to minimize the need for separate toilet /shower facilities and lockers.

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Concept Images for Fitness, Lockers, and Limited Single Use Toilet and Shower Rooms

- Existing WLEA dormitory facility



Existing Dormitory Facility – Exterior Entry View

The existing WLEA dormitory facility has been used as a guide for a new dormitory facility for advanced trainees and guest instructors, with modifications to accommodate current accessibility requirements. In Alternative 3 the existing dormitory would be dedicated to BLET use, and a new dormitory would be developed for advance training.

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- Existing food service/dining/break spaces



Existing Kitchen

- New food service/dining/break spaces: expansion is anticipated to accommodate growth in the kitchen area to accommodate more equipment and staff circulation, and to accommodate a dining capacity of at least 125. As student population increases, staggered and longer mealtimes can increase dining capacity. Food service staff have increased the self-serve stations in the dining room to streamline the serving line time, and overall efficiency of food service.
- Existing facilities / maintenance



Existing Maintenance Building

The existing facilities / maintenance facility is anticipated to remain on Alternative 3. The 22 training vehicles shall be moved to the new proposed vehicle storage building,

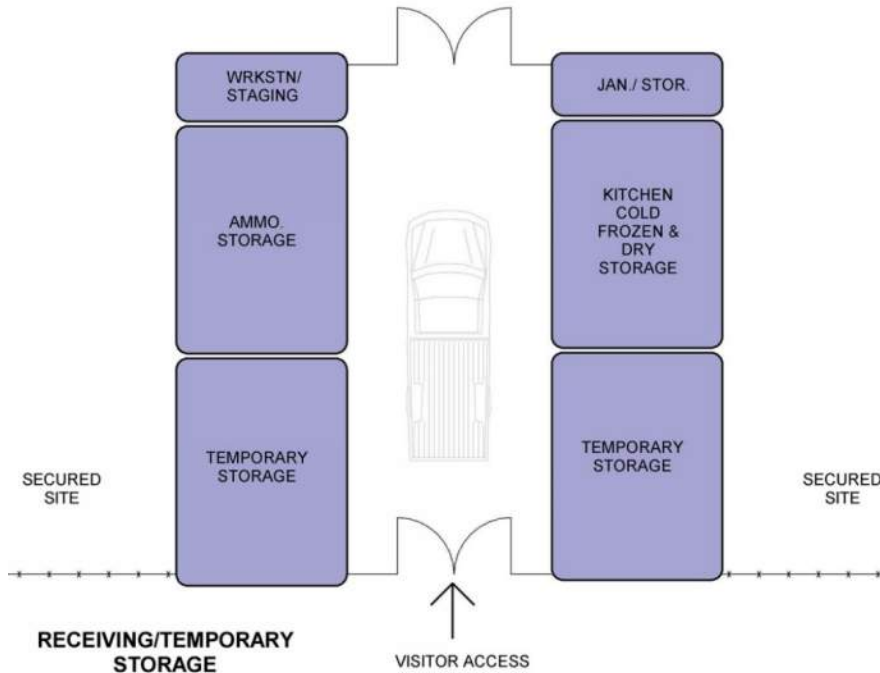
## PROGRAM AND FUNCTION

making this facility more effective in the maintenance of the remaining tractors, carts, and travel cars, as well as providing for maintenance storage needs (lights, filters, fittings, ceiling tiles, etc.). Some additional space within the building has been allocated to mechanical, electrical, and plumbing for the buildings.

- **New facilities / maintenance**  
Space allocations have been provided for MEP in the Alternative 1 / new WLEA campus buildings, along with storage and support space for facilities / maintenance staff. A new training vehicle storage building is proposed for Alternative 3 as well.
- **New delivery/receiving/temporary storage facility:**  
Storage and receiving facilities need improvement to accommodate needed equipment and supplies for continuous operation; a new facility is needed that provides for secure delivery (at interface between unsecure and secure campus circulation) and temporary storage that allows staff to retrieve their deliveries as time permits; dedicated storage space is anticipated for food service (dry and cold storage) and firearms (ammunition) to supplement the storage capacity for each and assure continuous operation.
- **Existing housekeeping**  
The central laundry, supplies room, and satellite storage closets all need to be increased in size. Storage is anticipated at each floor of the dormitory (along with the incorporation of an elevator), to reduce time and work for staff. Some allocation is also anticipated at the receiving / temporary storage facility (additional mattresses).
- **New housekeeping:**  
Housekeeping is important to maintaining a clean and healthy training environment and needs expansion and improvements to support staff efficiency and safety and accommodate the significant increase in student / trainee capacities.

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- **New receiving and temporary storage facility**  
A new facility is planned to alleviate security and storage issues. The new facility will allow for controlled campus deliveries and dedicated secure ammunition storage and food service storage, allowing staff to augment storage at the firing ranges, and at food services, as needed. Other deliveries can be stored on a temporary basis, allowing the appropriate staff to retrieve their items. The facility will have a vehicle bay / aisle to allow for indoor unloading during inclement weather and added security.



Concept Image for a New Receiving and Temporary Storage Facility

## PROGRAM AND FUNCTION

- Existing dormitory facilities



Existing BLET Double Occupancy Dormitory Room

- New dormitory facilities (BLET and Advanced Training): the existing student capacity is limited to the current dormitory capacity, which is based on 2 students per dorm room for BLET, and 1 student/trainee per dorm room for advanced training. An additional dormitory is anticipated for advanced training students and guest instructors, allowing the current dormitory capacity to be dedicated to BLET. BLET takes priority in dormitory accommodation and has significantly restricted access for advanced training (which has a growing demand).  
The existing dormitory has a maximum of 112 using double occupancy for BLET, however advanced trainees and guest instructors are single occupancy, and reduce the overall capacity. The dormitory capacity needs to expand to meet the training needs of WLEA – there are times that the existing dormitory capacity restricts training access to available training components. Both dormitories need to be in close proximity to core activities to avoid redundancy in components.

## PROGRAM AND FUNCTION

### 4 Defensive Tactics (DT) Spaces

#### Existing Defensive Tactics (DT) Spaces

- The existing WLEA facilities accommodates defensive tactics in a shared use area, which requires rolling out mats, and taking them up to allow for other uses. This reduces time available for defensive tactics training and impacts the availability for other shared use functions in this area.
- New Dedicated Defensive Tactics rooms (2) are proposed (1 for BLET and 1 for advanced training), to enhance / maximize the training capacities and time available for each training group. The defensive tactics rooms are planned to accommodate 20 grappling pairs for BLET training, and 10 grappling pairs for advanced training. Access to defensive tactics spaces will incorporate security vestibules to allow for weapons check and temporary storage to assure no duty weapons and live ammunition enters these spaces. Other support spaces include storage space for DT equipment, AV monitoring and recording equipment, debriefing rooms, and a janitor's closet to help assure cleanliness of rooms, mats, and equipment.



Concept Image for Defensive Tactics Training Room



Concept Image for Defensive Tactics Training Room

### 5 Specialty (Mock) Scenario Training Environments

#### Existing Scenario Training

- The existing WLEA campus has some basic scenario training space with catwalk access overhead for instructors, in a shared use metal building.



Existing Scenario Training Building

- A New scenario training environment is proposed to support and enhance classroom training, providing nearby controlled environments for hands-on practical training. Multiple scenario training rooms are proposed, with noise separation from adjacent spaces, and noise reduction within the scenario areas. Prop storage and circulation space is anticipated for flexibility of scenario room use and modifying the specific scenarios for a room. Training environments include props and storage space to flexibly accommodate the following scenarios: court room activity; suspect processing and holding; suspect interviews; domestic violence incident; etc. Scenario rooms can incorporate simulator use, as can simunitions training areas.

# PROGRAM AND FUNCTION



Concept Images for Scenario Training Spaces (Basic, Specialized, with Technology)

### 6 Firearms Training and Support Spaces

- The existing WLEA outdoor firing range can accommodate 20 trainees, is 'blue sky' / uncontained, with a target system at the end of useful life. The existing 100yd outdoor range can accommodate 16 trainees. The existing ranges do not meet current range standards, lack support spaces, and pose a liability for errant rounds leaving the range toward adjacent developed properties.
- The existing indoor 25yd range is not adequately sized – can accommodate 12 trainees. This current situation leaves 24 students waiting for their turn for firing range access and limits the available time on the range for all trainees.

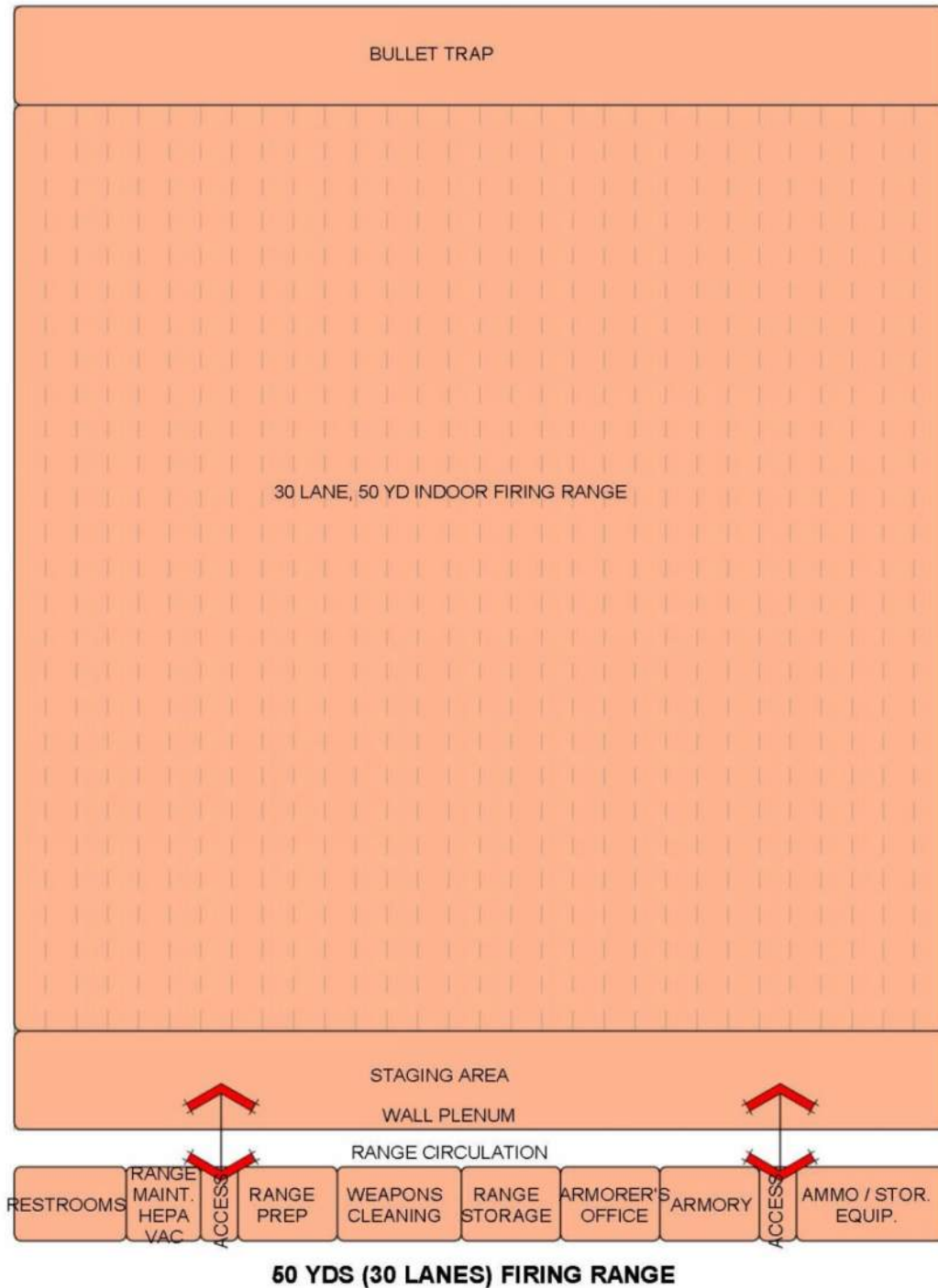


Existing Outdoor 'Blue Sky' 50yd Firing Range

- Proposed new indoor tactical 50yd firing range complex is anticipated to provide: full containment of rounds fired moving down range; rifle rated rubber bullet trap, baffles, and building 'shell'; a fixed turning target system and dual running-man target system; sound isolation from other training components; and noise reduction to the shooting environment. The proposed range will accommodate effective and safe year-round weapons training for an increasing number of students / trainees with 30 firing positions. The indoor firing range complex will be stand-alone and include all needed support spaces for safe and effective operation. The new firing range will be located near the core training building components to facilitate efficient use and delivery of ammunition and supplies, and effective construction/development. WLEA staff note that 90% of firearms training will occur in this range, and that an outdoor baffled firing range for longer shooting distances can accommodate the remaining 10% of firing range needs.
- A proposed 12 lane, 100yd / 300yd outdoor baffled firing range is anticipated to supplement the indoor 50yd range. This outdoor baffled firing range anticipates full containment of rounds fired from 100yd and 300yd firing distances. The actual site

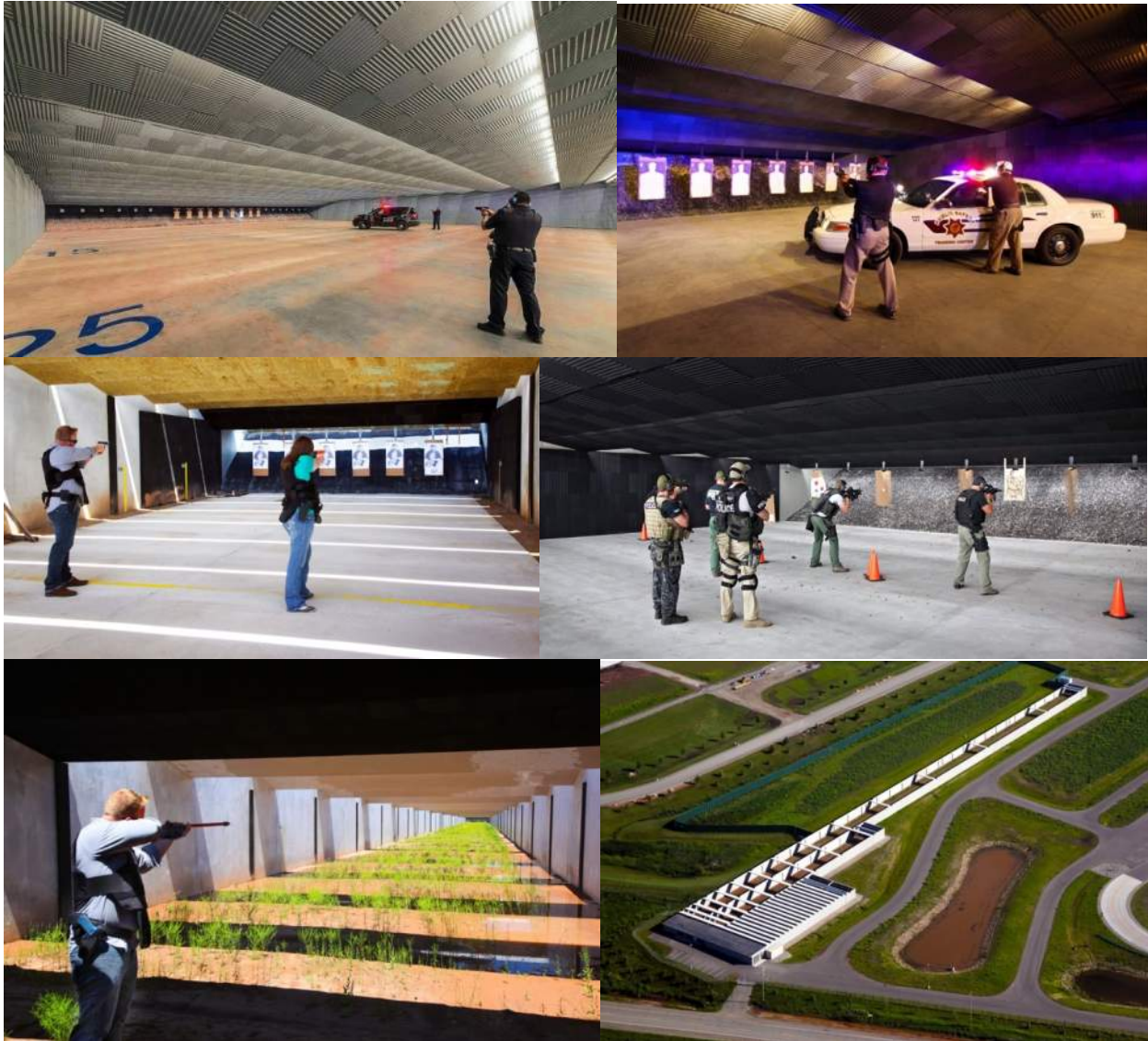
# PROGRAM AND FUNCTION

location shall be determined upon further due diligence, with regard to prevailing winds (which can provide natural ventilation but can also carry sound / noise) and safety for range operation.



Concept Image for a New Indoor 50yd Tactical Firing Range and Support Building

# PROGRAM AND FUNCTION



Concept Images for New Firing Range Facilities (Indoor 50yd Firing Range, Outdoor Baffled 100yd and 300yd Firing Range)

## PROGRAM AND FUNCTION

### 7 Tactical Village Training Facilities

- The existing WLEA campus does not have a tactical village environment for simunitions use. WLEA sees this as a significant deficiency, and a critical component to an expansion of the current site, or development of a new site for WLEA. WLEA believes that an increased hands-on, practical training, in real-life environments is crucial to the preparedness of law enforcement trainees.
- A new 'mock' tactical village is proposed, with separate / secure site area on the campus, is anticipated to provide for simunitions based scenario training. This training environment shall include a varied streetscape and buildings/structures to accommodate safe training for multiple training groups in different areas of the tactical village. The tactical village layout should accommodate continuation scenarios, beginning in one area of the village and ending in another part of the village. The tactical village shall also accommodate 'large scale events' with multiple training groups / agencies working together on a single scenario. The mock buildings/structures and streetscapes anticipate varying levels of realism and technology, to enhance the reality of the training, as well as providing instructors the ability to monitor, record, and provide quick feedback and intervention into scenarios as needed. Tactical village areas of heavy-duty construction / durability are also anticipated, for SWAT related breaching and similar potentially destructive activities.



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Concept Images for a New Tactical Village with Exterior Interactive Streetscape, Zoned Tactical Blocks, and Specific Mock Training Structure

**8 Driver Training / Emergency Vehicle Operations Course (EVOC) Facilities**

- The existing driver training facility provides a large asphalt area for low speed skills, along with a support facility with limited vehicle bay and maintenance space, storage, and observation area.



Existing EVOC Support Building and Skills Pad Observation Room



Existing EVOC Skills and Driving Pad

## PROGRAM AND FUNCTION

- A new large concrete skills pad is desired to provide a consistent vehicle training surface and reduce maintenance requirements. In addition to the slow speed skills training pad, a higher speed vehicle driving track is anticipated to provide for effective and safe tactical driver training. Currently, higher speed vehicle training requires travel to an offsite location, with scheduling challenges, inefficiencies, and cost. The driving track should incorporate a minimum 1400' straight-away for multiple vehicle lanes, curves of varying radii, including a reducing radius curve, divided road condition, serpentine roadway, and street and rural road intersections. The higher speed driving track shall have a road connection to the slower speed skills pad, to accommodate a continuation scenario between the two training areas, as well as with the tactical city environment. A raised observation / briefing / debriefing area can allow for EVOC initial instruction and entry to the driving course, observation by students waiting their turn, and debriefing scenarios with full view of the driving track.



Concept Images for a New EVOC Driving Track and Skills Pad

## Facility Space Needs

The following Building Area Needs identify the WLEA space needs for milestone years of 2025 and 2040. It became evident through the programming process that WLEA space needs have been inadequate for a long time, and that for all intents and purposes, the future needs are needed now. Thus, there is little difference between the year 2025 and year 2040 milestones. Once these space needs are achieved, the WLEA feels confident that it can operate for many years without significant growth. However, we anticipate some potential growth or change will eventually take place and is accommodated in the concept that guides the site space needs. Whereas the existing WLEA site's core campus functions were developed into a compact layout, the new WLEA site has some core site area that will accommodate some future expansions or changes to training center components.

## Space Summary

The identified space needs are organized by 8 training and support headings (and are referred to in other sections of this document, for comparison between component descriptions, space needs, and cost information):

- 01 – Administration / Instructor / Staff Offices and Support Spaces
- 02 – Lecture / Classroom / Laboratory / Meeting Facilities
- 03 – LETC Support Facilities (including various operational support spaces)
- 04 – Defensive Tactics Spaces
- 05 – Specialty Scenario Training Environments
- 06 – Firearms Training and Support Spaces
- 07 – Tactical Village Training Environment
- 08 – EVOG Driving Track and Skills/Skid Pad Areas

The total of these training components yields a net square footage of program space. Since the preliminary mechanical, electrical, and plumbing spaces, and lobby are included in the area breakdowns within each component, the grossing factor (10%) only accounts for structural columns and wall thickness.

## Component Space Needs Detail

Following the Space Summary, we provide component detailed space needs for each of the headings identified in the summary. We compare the existing spaces in the main WLEA building (shown in gray text) with the proposed space allocation for the 2025 and 2040 milestone years (shown in black text). We reference existing building spaces with their current room number designations, to aid identification of the spaces in the existing facility diagrams within this document.

Existing spaces that are to be retained, even if expanded, will show new proposed square footage on the same program line. Existing spaces that are not being retained shall show no proposed square footage, and a new program space is identified on a separate line of the program and listed as 'New'.

### **Net Area Adjustment**

Each training component identifies a subtotal for all identified spaces at the bottom of the detail. To obtain the Net Usable Area for each component, we identify a circulation factor to accommodate circulation within each area of the building (e.g. corridors, hallways and aisles around program components). This circulation factor varies depending upon the type of programmed space.

Each resulting Net Usable Area is identified in the Space Summary, to receive a grossing factor, allowing the overall Gross Square Footage to be identified.

Wyoming Law Enforcement Academy

- Space Needs Program •

Milestones	Exist.		2025		2040		MWL Space Std.	Existing	2025		2040	
	Area	Totals	Area	Totals	Area	Totals			Area	Totals	Area	Totals

**WLEA TRAINING CENTER FACILITY SPACE NEEDS**

01 Administration/Instructor/ Staff Offices and Support Spaces	5,813	8,288	8,520									
02 Lecture/Classroom/Laboratory/Meeting Facilities	10,526	27,324	27,324									
• Conference Center Building		6,720	6,720									
• Lecture/Classroom/Laboratory		20,604	20,604									
03 LETC Support Facilities	43,008	105,818	105,818									
• Lobby	2,179	3,163	3,163									
• Fitness/Lockers/Toilet and Shower Facilities/Storage	8,871	11,706	11,706									
• Food Service/Dining/Break Space/Storage	4,157	7,472	7,472									
• Facilities/Maintenance	9,299	10,908	10,908									
• Receiving and Temporary Storage		2,475	2,475									
• Dormitory Facilities A/ Existing (anticipate for BLET only)	18,103	22,648	22,648									
• Dormitory Facilities B/New (for Advanced Training/Guests)		46,450	46,450									
• Housekeeping	399	996	996									
04 Defensive Tactics		6,300	6,300									
05 Specialty Scenario Training Environments		2,472	2,472									
06 Firearms Training and Support Spaces	6,076	34,312	35,219									
07 Tactical Village Training												
08 EVOC Driving Track, Skills/Skid Pad	1,500	9,894	9,894									

** Total Net Square Feet:		66,923	194,407	195,547
<b>Grossing Factors:</b>				
Vertical Circ. Factor:	692	800	800	800
MEP / Janitor Spaces:	6,692	19,441	19,555	19,555
Structure / Wall Thickness: 10%	74,308	214,648	215,902	215,902

\*\* Total Net Square Feet is defined as the "usable area" within a specific facility 'department' including all internal departmental circulation, staff and misc. spaces

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- Space Needs Program •

Milestones	Number of Spaces			Exist.	MWL Space Std.	Exist.		2025		2040	
	Exist.	2025	2040			Area Totals	Area Totals	Area Totals	Area Totals		

**01 Administration/Instructor/ Staff Offices and Support Spaces**

Rm #	Administration	Exist.	2025	2040	Exist.	MWL Space Std.	Exist.	2025	2040	Notes
303	Reception	1	1	1	274	202	274	202	202	
	• Waiting (2)		1	1		OP3		72	72	In Open Space.
	• Office Assistant		2	4		OP3		144	288	Reception duties too
New	WLEA + Post Training Specialist		1	1	186	150	186	150	150	
306	Assistant Director	1	1	1	242	200	242	200	200	
307	Director	1	1	1	185	150	185	150	150	
308	Finance / HR Officer	1	1	1	141	125	141	125	125	BLET Training
309	Supervisor / Instructor Office	1	1	1	141	125	141	125	125	Advanced Training
310	Supervisor /Instructor Office	1	1	1	141	125	141	125	125	
311	Instructor Office	1	2	2	141	125	141	250	250	
312	Instructor Office	1	2	2	141	125	141	250	250	
313	Training Manager	1	1	1	200	150	200	150	150	
314	Instructor Office	1	2	2	141	125	141	250	250	
315	Instructor Office	1	2	2	141	125	141	250	250	
316	Instructor Office	1	2	2	141	125	141	250	250	
317	Instructor Office	1	2	2	141	125	141	250	250	
318	Instructor Office	1	2	2	141	125	141	250	250	
New	Guest Instructor		1	1		125		125	125	Was Film Lab. Move to Admin.
333	Post Executive Office	1	1	1	233	200	233	200	200	
<b>Administrative Support Spaces</b>										
304	Secretaries/Open Office	1	1	1	1,059		1,059			Open office for workstations, files, etc.
	• Training Support Specialist		1	1		OP3		72	72	Megan. In Open Space
	• Multi-media / E-Learning Specialist		1	1		125		125	125	Private office
	• I.T. Specialist		1	1		125		125	125	Private office
	• Curriculum Specialist		1	1		OP3		72	72	Future position
305	Administration Conference	1			300		300			

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• Space Needs Program •

Milestones	Exist.			Existing	MWL Space Std.	Exist.			
	2025	2040	2040			Area Totals	Area Totals	2040 Area Totals	
Number of Spaces									
New Conference Room (20 PPL)	1	1	1	852	CNF20	852	375	375	375
321 "Duplicating Room" / multi-function space	1								
• Copy/Print/Workroom/Recycling	1	1	1		CPY4		250	250	250
• Supplies/Storage	1	1	1		100		100	100	100
• File Room (laterals)	1	4	4		FL2		14	14	56
• Safe (3'x3') within the supply stor. Room	1	1	1		CAB3		12	12	12
New Housekeeping Closet	1	1	1		40		40	40	40
322 Employee Lounge	1	1	1	332	383	332	383	383	383
323 Women Restroom	1	1	1	109	132	109	132	132	132
324 Men Restroom	1	1	1	104	132	104	132	132	132
301A Conference Room / Future Boardroom	1	1	1	468	820	468	820	820	820
New Small Conference room (Team Room)	1	1	1		CNF06		182	182	182
New War Room/Conference Room	1	1	1		CNF06		182	182	182
New Post Commission Conference Room	1	1	1		CNF08		221	221	221
<b>Subtotals</b>	<b>25</b>	<b>43</b>	<b>48</b>			<b>5,813</b>	<b>6,630</b>	<b>6,816</b>	<b>6,816</b>
Net Circulation Factor					25%	0	1,658	1,704	1,704
<b>Net Usable Area</b>						<b>5,813</b>	<b>8,288</b>	<b>8,520</b>	<b>8,520</b>

Copy, equip., supplies - Canteen / store function moved to Lobby (03 Facilities Support)

These are functions in the Duplicating room. Moved to Open Office Area with rm 304 Wrkstns

These are functions in the Duplicating room. Moved to Open Office Area with rm 304 Wrkstns

These are functions in the Duplicating room. Moved to Open Office Area with rm 304 Wrkstns

These are functions in the Duplicating room. Moved to Open Office Area with rm 304 Wrkstns

per page 10 of notes and per markerboard, (w/vacuum and supply items)

Notes list: Coffee, Fridge, Sink, (Galley Bulk/Kitchen); vending machines

Currently has 2 fixtures and 1 sink

Currently has 2 fixtures and 1 sink

Future Boardroom( Advisory Board). WLEA and Post execs Commission mtgs, audience, minutes, video conference. IT ready, could double as a mock courtroom. 10 @ head table; Gallery up to 30 cap; pot. Legislator use.

Command Center function

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Milestones	Number of Spaces			Exist.	MWL Space Std.	Exist.		2025		2040	
	Exist.	2025	2040			Area	Totals	Area	Totals	Area	Totals

**02 Lecture/Classroom/Laboratory/Meeting Facilities**

Anticipate as a separate building on campus

**Conference Center**

Conference Center Room (Sub dividable in thirds)	1	1	1	3,367	3,367	3,367	3,367	3,367	3,367	3,367	3,367
Entry Foyer	1	1	1	954	954	954	954	954	954	954	954
Men's Restroom	1	1	1	T3	T3	225	225	225	225	225	225
Women's Restroom	1	1	1	T3	T3	225	225	225	225	225	225
Kitchen	1	1	1	215	215	215	215	215	215	215	215
Catering/Storage	1	1	1	120	120	120	120	120	120	120	120
Table and Chair Storage	1	1	1	120	120	120	120	120	120	120	120
Janitor	1	1	1	40	40	40	40	40	40	40	40
Unisex Toilet	1	1	1	T1	T1	64	64	64	64	64	64
Presenter Prep. Room	1	1	1	120	120	120	120	120	120	120	120
A/V Storage/Media Equipment	1	1	1	40	40	40	40	40	40	40	40
MEP	1	1	1	110	110	110	110	110	110	110	110
<b>Subtotals</b>	<b>0</b>	<b>12</b>	<b>12</b>			<b>5,600</b>	<b>5,600</b>	<b>1,120</b>	<b>1,120</b>	<b>6,720</b>	<b>6,720</b>
Net Circulation Factor				20%							
<b>Net Usable Area</b>						<b>6,720</b>	<b>6,720</b>				

600 ppl; flat floor w/platform more flexible; subdividable; see diagram  
 gathering; food setup  
 3 Fixtures and two sinks  
 3 Fixtures and two sinks  
 warming kitchen; staging from cafeteria  
 food station setup; silverware, linens  
 what percentage of total to be stored?  
 serving staff use  
 Work/lounge space  
 engineering consultant input

**Classroom / Laboratory Instruction Space**

329 Lecture 1 (40) capacity	1			938	938	938	938	938	938	938	938
328 Lecture 2 (40) capacity	1			934	934	934	934	934	934	934	934
340 Crime Lab Instruction (Now Multi-media Studio)	1			412	412	412	412	412	412	412	412
332 Server Room	1			123	123	123	123	123	123	123	123
331 Vestibule	1			57	57	57	57	57	57	57	57

Tiered CR; move to flat floor - more flexible  
 Tiered CR; move to flat floor - more flexible  
 confirm desired size  
 Accommodate security servers. Was Film Lab Storage  
 not needed. Was Film Lab Vestibule

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• Space Needs Program •

Milestones	Exist.	Number of Spaces			Existing	MWL Space Std.	Exist.		
		2025	2040	2040			Area Totals	Area Totals	Area Totals
330 Shared Conference Room	1			375		375			Was Print lab. Shared for 20 ppl
339 Classroom Resource Space	1			615		615			To small for classroom
341 Seminar classroom (Used also as Conf. Room)	1			411		411			In a triangular space off of a classroom. Classroom Resource Room
335 Classroom	1			364		364			Computer testing room, using laptops instead of computer desks; increase capacity from 40 to 60 ) mtg note on page 6
336 Classroom	1			1,019		1,019			2 CRs x 60 student capacity each; accommodate 10 groups of 6 students - see diagram
337 Rear Projection Room	1			113		113			2 CRs x 60 student capacity each; accommodate 10 groups of 6 students - see diagram (can reduce to 40 students)
362 Training Resource Center	1	1	1	1,209	1,600	1,209	1,600	1600	Accom. 5 groups of 6 students; center resource area
New Large Classrooms (BLET)		1	1		1,725		1,725	1,725	6 break out rooms x (10 people each); across the corridor OK
New Large Classrooms (Advanced Training)		1	1		1,725		1,725	1,725	20 ppl CR/Lab once a year; Shared space
New Small Classrooms (BLET and Advanced Training)		1	1		1,000		1,000	1000	a couple of rooms. 16-20 ppl. Preferred a console. (exercise at the end of class)
New Break out Rooms		6	6		300		1800	1800	Existing space is 15 W x 24; 15-20 min in MILO 1/2 hour module; simulator debrief rooms (2-4)
New Forensic Center									
• Forensic Garage/Vehicle Inspection		1	1		820		820	820	
• Dry Storage		1	1		140		140	140	
• Walk-in Cooler		1	1		200		200	200	
• Forensic Classroom/Lab		1	1		1,824		1824	1824	
New Dispatch Class		1	1		540		540	540	
144/									
45 MILO / Virtra 180 Training Space	2			360				720	
244/									
45									

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Milestones	Number of Spaces			Existing	MWL Space Std.	2025		2040	
	Exist.	2025	2040			Area Totals	Area Totals		
New MILO / Virtra Simulator Training and Viewing Area		4	4		728		2912	2,912	
New Simulator storage; props Storage		4	4		128		512	512	
New Simulator vestibule with weapons lockers		4	4		96		384	384	
New Simulator debriefing rooms		6	6		82		492	492	
New Multi-media Studio		1	1		450		450	450	
262A IT Closet	1	1	1	29	29		29	29	
<b>Classroom Support Spaces</b>									
New Guest Instructor Prep/Resource Room		1	1		125		125	125	
New Storage space per classroom		7	7		80		560	560	
335a Storage	1			188				188	
433 Multipurpose Room	1			2,470				2,470	
428 Multipurpose Vestibule	1			155				155	
429 MPR Tables/Chairs	1			200				200	
405 Men	1	1	1	97	165		165	165	
406 Women	1	1	1	97	167		167	167	
<b>Subtotals</b>	<b>21</b>	<b>45</b>	<b>45</b>				<b>10,526</b>	<b>17,170</b>	<b>17,170</b>
<b>Net Circulation Factor</b>					<b>20%</b>		<b>3,434</b>	<b>3,434</b>	<b>3,434</b>
<b>Net Usable Area</b>							<b>10,526</b>	<b>27,324</b>	<b>27,324</b>

Increase from 2 to 4 rooms; confirm if accommodating 180 degree Virtra or similar; and space for props and viewing area for up to 8 students  
 adjacent to vestibule entry  
 accommodate group size up to 8  
 dedicated debriefing rooms  
 training video development; graphic support

Table and Chairs storage, equipment.

Existing Divided by a curtain

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• Space Needs Program •

Milestones	Number of Spaces			MWL Space Std.	Exist. Area Totals	2025 Area Totals	2040 Area Totals
	Exist.	2025	2040				

**03 LETC Support Facilities**

**Lobby**

300 Entry Vestibule	1	1	1	230	108	230	230
301 Lobby	1	1	1	1,500	1,135	1500	1500
343 Housekeeping Supplies	1				43		
345 Women	1	1	1	121	121	121	121
346 Men	1	1	1	127	127	127	127
401 Vending/Break	1	1	1	250	282	250	250
New WLEA Store @ Lobby (Clothing Canteen+)		1	1	408		408	408
<b>Subtotals</b>					1,816	2,636	2,636
<b>Net Circulation Factor</b>				20%	363	527	527
<b>Net Usable Area</b>					<b>2,179</b>	<b>3,163</b>	<b>3,163</b>

accommodate visitor tours, breakout use for boardroom, classrooms in/out activity  
 Existing. Closet space captured in other area.  
 Currently sets or 2 fixtures, 1 sink  
 Currently sets or 2 fixtures, 1 sink  
 Currently has seating and vending  
 With Storage. Functions currently in the Duplication room. % of room

**Fitness/Lockers/Toilet and Shower Facilities/Storage**

412 Housekeeping	1	1	1	70	59	70	70
413 Women's Toilet	1				198		
414 Shower	1				79		
415 Lockers	1				89		
417 Cardio Room	1	1	1	450	473	450	450
433A Weight Area		1	1	875		875	875

including DT mat room functions, running track, fitness space  
 Existing room by the lockers. To be 70 sf  
 12 ltrs, 2 T, 2 lav, 3 Sh. In Existing, unknown locker count. New area includes showers.  
 Lockers outside corridor  
 Women's  
 Women's  
 1 treadmill; 1 elliptical machine; 6 bikes

Wyoming Law Enforcement Academy

• Space Needs Program •

Milestones	Number of Spaces			Existing	MWL Space Std.	2025		2040	
	Exist.	2025	2040			Area	Totals	Area	Totals
•Free weights and machine weights area									
•Wall / ceiling mounted equipment									
•Stretching / calisthenics									
•Indoor running									
430 Fitness Storage	1	1	1	285	336	336	7,318	7,318	336
426 Gym	1	0	0	6,028	6,028	0	0	0	0
431 Staff Toilet/Showers	1	1	1	432	860	860	432	860	860
• Locker in the hallways									
432 Storage	1	1	1	149	150	150	149	150	150
434 Men's Locker	1			576			576		
435 Toilet	1			161			161		
436 Drying	1			108			108		
437 Shower	1			234			234		
<b>Subtotals</b>							8,871	10,179	10,179
<b>Net Circulation Factor</b>					15%			1,527	1,527
<b>Net Usable Area</b>							<b>8,871</b>	<b>11,706</b>	<b>11,706</b>

Dumbbell sets (2) - 2.5 - 45lbs and 5 - 55lbs; pec dec machine; rowing machine (weights); leg press; squat racks (2); benches (2); calf raise machine; machine weights; cable weight machine  
 Heavy bags (2); pull-up bars (3); dip machine  
 Anticipate 12' wide running track  
 Training storage, storage systems for equip. may reduce need  
 Accommodating 6. No space for 4 requested Student Shared T/Shower.  
 20 Lockers  
 Storage PET equip.  
 30 lockers, 2 ur, 2 T, 3 lav, 4 Sh. In Existing, unknown locker count. New includes Men's T/S.  
 Lockers in corridor

Wyoming Law Enforcement Academy

• Space Needs Program •

Milestones	Exist.			Existing	MWL Space Std.	Exist.		
	2025	2040	2040			2025	2040	2040
Number of Spaces								
<b>Food Service/Dining/Break Space/Storage</b>								
348 Dish Drop-Off	1	1	1	39	160	39	160	160
349 Dining Room	1	1	1	2,303	3,256	2,303	3,256	3,256
• Trash/Recycling Alcove		2	2		40			
350 Servery/Warming Kitchen	1	1	1	433	460	433	460	460
351 Kitchen	1	1	1	573	816	573	816	816
352 Dishwash	1	1	1	229	364	229	364	364
353 General Storage	1	1	1	131	300	131	300	300
354 Kitchen Receiving	1	1	1	98	100	98	100	100
355 Refrigerator Storage	1	1	1	60	100	60	100	100
356 Freezer Storage	1	1	1	90	150	90	150	150
357 Food Supervisor	1	1	1	80	OP3	80	72	72
New Delivery/Receiving Facility		1	1		300			

125 Max. Increase to 225.

At dining

Serves as prep area as well. To be sized for growing classes if need be. Accommodate space for Transport carts at this location. Need Permanent warming. Currently have 3 prep tables (3x8) it can grow to 6 tables.

Needs more room for circulation Warming oven not big enough. Moved salad and drinks into dining room. No food in dorms. Another warming oven needed and space for disposal. Kitchen equip: Steamer 2 (future3), Convection Oven 2 (future 4), Stove/Grill 4 (future 6) Fryer 1 (future 2), Warming Oven 1 - 3'x4" (future 2), Serving line 1 (future 2) move desserts to island at dining. condiment, dinner, at island

Not large or eff. Enough. Approximately dbl. Dish room more stand space on side (8LF ea. side). Dish carousel Currently Insufficient . Supplies, trays, etc. Currently in a 200 SF closet.

80 - 100 sf Refrigerator

Provide additional delivery and storage at central receiving

Space is too small. Move from 1 to 2 delivery/wk as student population grows. See Receiving and Temporary Storage Facility SF

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• Space Needs Program •

Milestones	Number of Spaces			Existing	MWL Space Std.	2025		2040	
	Exist.	2025	2040			Area Totals	Area Totals		
Kitchen staff workstations		3	3		48		144	144	144
358 Dry Storage	1	1	1	121	180	121	180	180	180
<b>Subtotals</b>						4,157	6,102	6,102	6,102
Net Circulation Factor				20%			1,220	1,220	1,220
<b>Net Usable Area</b>						4,157	7,472	7,472	7,472

Provide additional delivery and storage at central receiving

Accommodates new corridor and half of lightwell area

Facilities/Maintenance

148 Electrical Room	1	1	1	66	66	66	66	66	66	Existing off of Dorms
327 Electrical Room	1	1	1	43	33	43	33	33	33	Existing off of main corridor
363 Telephone/Data	1	1	1	95	95	95	95	95	95	Existing off of main corridor
438 Office (Maint. Supervisor)	1	1	1	125	125	125	125	125	125	
Building and Grounds Specialist	1	1	1		135	0	135	135	135	
HVAC Specialist?	1	1	1		DSK1	0	45	45	45	
MPB Maintenance Storage Building	1	1	1	2,400	2,800	2,400	2,800	2,800	2,800	Maintain existing building. Ceiling tiles, lights, filters, equip. Tractors, 4-wheel, lawn equip.
445 Mechanical Mezzanine	1	1	1	1,953	1,953	1,953	1,953	1,953	1,953	Fan Room.
361 Mechanical Storage Room	1	1	1	202	202	202	202	202	202	Allocated storage room for mechanical.
361a Facility Manager	1	1	1	136	125	136	125	125	125	
Penthouse	1	1	1	670	670	670	670	670	670	On the Roof. Reuse for Option A?
408 Electrical Room	1	1	1	134	134	134	134	134	134	
410 Service Vestibule	1	1	1	150	150	150	150	150	150	
427 CHLOR.	1	1	1	27	27	27	27	27	27	Available storage during summer
440 Garage (Maintenance)	1	1	1	985	985	985	985	985	985	
441 Fan Room	1	1	1	342	342	342	342	342	342	

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Milestones	Exist.			MWL Space Std.	Exist.			2025			2040		
	Number of Spaces				Existing	Area Totals	Area Totals	Area Totals	Area Totals	Area Totals	Area Totals	Area Totals	
442 Generator	1	1	1	194	194	194	194	194	194	194	194	194	
443 Boiler Room	1	1	1	1,251	1,251	1,251	1,251	1,251	1,251	1,251	1,251	1,251	
444 Chiller Room	1	1	1	526	526	526	526	526	526	526	526	526	
New General Storage		1	1	80	80	80	80	80	80	80	80	80	
Subtotals					9,299	9,268	9,268	9,268	9,268	9,268	9,268	9,268	
Net Circulation Factor				15%		1,390	1,390	1,390	1,390	1,390	1,390	1,390	
<b>Net Usable Area</b>					<b>9,299</b>	<b>10,908</b>	<b>10,908</b>	<b>10,908</b>	<b>10,908</b>	<b>10,908</b>	<b>10,908</b>	<b>10,908</b>	

Supplies currently in Boiler, mechanical rms, etc.

New Receiving and Temporary Storage Facility

Temporary Storage Spaces	1	1	2,250	2,250	2,250	2,250
• Vehicle drive aisle / loading and unloading	1	1				
• Inventory control / tracking workstation and staging	1	1	120	120	120	120
• Janitorial / hose bibb space	1	1	120	120	120	120
• Ammunition Storage	1	1	300	300	300	300
• Mechanical	1	1	50	50	50	50
• Electrical	1	1	40	40	40	40

4 (15x 20 secure stor. spaces) anticipate moving from 1 to 2 deliveries/wk as student population grows. Located at site security separation (delivery access from public side; access to secure side for distribution); also works in reverse for outgoing items.  
 •Ammunition stor. (confirm delivery location)  
 •Kitchen temporary stor. (refr./frozen/dry)  
 •Drive aisle providing covered/secure access to 4 secure storage areas.  
 anticipate inventory (barcoding/RFID) equip consider cleanup space with hose bib and supplies

Storing 600k rounds of Ammo. Growth to 900 k

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Milestones	Exist.			2025			2040				
	Exist.	2025	2040	Number of Spaces			Exist.	2025	2040		
				Existing	MWL Space Std.				Area Totals	Area Totals	Area Totals
Subtotals	0	2,250	2,250	0	10%	0	2,250	2,250	0	2,475	2,475
Net Circulation Factor	0			0		0	225	225	0		
<b>Net Usable Area</b>	<b>0</b>			<b>0</b>		<b>0</b>	<b>2,475</b>	<b>2,475</b>	<b>0</b>	<b>2,475</b>	<b>2,475</b>

Dormitory Facilities A/Existing (anticipate for BLET only)

100 Dorm Vestibule	1	1	1	81	81	81	81	81	81	81	capacity of 112
Mult. Dorm rooms (Standard, Double Occupancy)	56	56	56	227	227	12,713	12,713	12,713	12,713	12,713	Double bunk 112 capacity total. 72 for Basic training, 4 to 8 for guest instructors, 30 beds for advance training.
Mult. Dorm room bathroom	56	56	56	29	29	1,624	1,624	1,624	1,624	1,624	
Dorm room Shower	56	56	56	10	10	560	560	560	560	560	
See Nts. HCP Dorm room (Handicap)	4	4	4	215	215	860	860	860	860	860	Existing. Room number 103, 105, 172, 170.
See Nts. HCP room bathroom	4	4	4	38	54	152	216	216	216	216	Expand toilet shower for accessibility
HCP Shower	4	4	4	12	12	48	48	48	48	48	
161 & Lounge	2	2	2	712	632	1,424	1,264	1,264	1,264	1,264	One on each floor
261											
201 Storage	1	1	1	112	112	112	112	112	112	112	
126 Vending Alcove	1	1	1	28	28	28	28	28	28	28	Relocated in remodel
226 Vending Alcove	1	1	1	22	22	22	22	22	22	22	
New Laundry		2	2		147		294	294	294	294	Remodeled RM 145
New Dormitory Linen Storage		2	2		132		264	264	264	264	Remodeled RM 144
147 Dormitory Housekeeping	1	1	1	135	135	135	135	135	135	135	
246 Storage	1	1	1	80	160	80	160	160	160	160	Was Laundry Room
247 Mechanical Room	1	1	1	91	92	91	92	92	92	92	
248 Dormitory Housekeeping	1	1	1	101	100	101	100	100	100	100	
248A Dormitory Housekeeping Storage	1	1	1	72	72	72	72	72	72	72	

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Milestones	Exist.			MWL Space Std.	Existing	Exist.		
	2025	2040	2040			Area Totals	Area Totals	2025
Number of Spaces								
New Service Elevator (1 per floor)	2	2	2	100		200	200	200
New Elevator Equipment Room	1	1	1	28		28	28	28
Within existing Lounge								
<b>Subtotals</b>					18,103	18,873	18,873	18,873
Net Circulation Factor				20%		3,775	3,775	3,775
<b>Net Usable Area</b>					<b>18,103</b>	<b>22,648</b>	<b>22,648</b>	<b>22,648</b>

Dormitory Facilities B/New (for Advanced Training/Guest Instructors)

New Dorm Vestibule	3	3	81	243	243	243
New Dorm rooms (standard, single occupancy)	110	110	227	24,970	24,970	24,970
New Dorm room bathroom and shower (standard)	110	110	66	7,260	7,260	7,260
New Handicapped dorm rooms	4	4	215	860	860	860
New Handicapped bathroom and shower	4	4	60	240	240	240
New Lounge	2	2	896	1,792	1,792	1,792
New Storage	1	1	186	186	186	186
New Storage	1	1	112	112	112	112
New Vending Alcove	2	2	28	56	56	56
New Laundry	2	2	147	294	294	294
New Dormitory Linen Storage	2	2	132	264	264	264
New Dormitory Housekeeping Storage	1	1	135	135	135	135
New Dormitory Housekeeping Storage	1	1	101	101	101	101
New Service Elevator (1 per floor)	2	2	100	200	200	200
New Mechanical Room	1	1	120	120	120	120
<b>Subtotals</b>				36,833	36,833	36,833
Net Circulation Factor			20%	7,367	7,367	7,367
<b>Net Usable Area</b>				<b>46,450</b>	<b>46,450</b>	<b>46,450</b>

Confirm visitor / guest instructor dorm capacity;  
Confirm advance training dorm capacity.

Confirm number of handicapped accessible dorm rooms

Confirm number

One on each floor

Confirm need

One on each floor

One on each floor

Elevator Lift.

Janitorial room with carts

engineering input

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Milestones	Number of Spaces			Existing	MWL Space Std.	Exist.		2025		2040	
	Exist.	2025	2040			Area Totals	Area Totals	Area Totals	Area Totals		
<b>Housekeeping</b>											
407 Laundry	1	1	1	315	830	315	830	830	830		
New • Housekeepers											
New • Central Linen Storage	1	1	1		250	0					
New • Linen Receiving Space											
New • Main Janitor											
407a Housekeeping Office	1			42	125	42	166	166			
407b Linen Storage	1			42		42	166	166			
<b>Subtotals</b>						399	996	996			
Net Circulation Factor					20%						
<b>Net Usable Area</b>						399	996	996			

Double Current size. Have a PO, a desks, lkrs, cubbies, coat hooks. Laundry Facility with machines ( 1 w and ryer to 2 w/2dr with new service 3 w/3 dryer and folding tables (Laundry size needs to double) (1) to (2)- 6 lf table  
 Counter top 24 lf per station. 3.5 to 4 housekeepers. Plus one other future Laundry staff. Included in Laundry  
 150 + 100 sf for paper products  
 Receiving 2 dirty carts, future 4. Carts 30" x 48" (50 DF)  
 Included in Laundry SF (150 SF)  
 Included in Laundry SF  
 Included in Laundry SF

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Milestones	Number of Spaces			Existing	MWL Space Std.	Exist.			
	2025	2040	2040			Area Totals	Area Totals	2025 Area Totals	2040 Area Totals
<b>04 Defensive Tactics</b>									
New Large Defensive Tactics MAT Room (BLET)	1	1	1		2,300		2300	2,300	Dedicated DT space for 20 grappling pairs, using 9' dia. preferred per grappling pair. Padded Floor no sharp corners
New Small Defensive Tactics MAT Room (Advanced Training)	1	1	1		1,378		1378	1,378	Dedicated DT space for 10 grappling pairs, using 9' dia. preferred per grappling pair. Padded Floor no sharp corners
New DT Storage Rooms	2	2	2		150		300	300	
New DT Vestibule Access w/Weapons Lockers (for Duty Weapons)	1	1	1		270		270	270	1 for each DT Room (BLET and Advanced Tr.); potentially can share one space
New DT Debriefing Rooms	2	2	2		120		240	240	1 for each DT Room (BLET and Advanced Tr.); potentially can share one space
New DT Training Room Storage	2	2	2		120		240	240	
New IT/A/V/ Monitoring/Recording RM	1	1	1		250		250	250	Suggested by MWL
Janitor	1	1	1		62		62	62	Existing Janitor Room (rm 423 - existing range area)
<b>Subtotals</b>							5,040	5,040	
<b>Net Circulation Factor</b>					25%		1,260	1,260	
<b>Net Usable Area</b>							<b>6,300</b>	<b>6,300</b>	

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Milestones	Number of Spaces			Existing Area Totals	MWL Space Std.	2040		
	Exist.	2025	2040			Area	Area	Totals

**05 Specialty Scenario Training Environments**

**Practical / Scenario Training**

New Booking Area Scenario	1	1	1	240	240	240	240	240	Existing detached bldg. Has a residence mock-up , the other side is for mocked up cell, 2 room office and bar. It has walkways in each side.
New Holding Cells	2	2	2	76	152	152	152	152	DUI line walk. Live scan mockup
New Interview Room	2	2	2	80	160	160	160	160	1 with swinging door; 1 with sliding door.
New Mock Courtroom	1	1	1	608	608	608	608	608	w/out swinging door; a/v; fixed table.
New Crime Scene Processing	1	1	1	740	740	740	740	740	confirm size of mockup
New Prop Storage	1	1	1	160	160	160	160	160	(Kitchen, Bedroom, Living room up to 6 rooms) (Fingerprint, casting Adj. to scenario rooms
<b>Subtotals</b>					0	2,060	2,060	2,060	
<b>Net Circulation Factor</b>				20%		412	412	412	
<b>Net Usable Area</b>					0	<b>2,472</b>	<b>2,472</b>	<b>2,472</b>	

**06 Firearms Training and Support Spaces**

**25 Yd Firing Range (10 Lanes)**

421 Observation	1	674	674						
422 Arms Vault	1	202	202						(30 Handguns + 20 long runs)
423 Janitor	1	62	62						Reused for DT/Sim. Area
424 Shooting (Firing Line / Instructor Circulation)	1	575	575						
425 10 Positions/75 Yds Firing Range Lanes	10	358	3,577						Incl. 4'-2" wide lanes ea./side wall
421A Control	1	34	34						
425A Bullet Trap	10	39	387						
425B Lean Too	1	565	565						
<b>Subtotals</b>			6,076			0	0	0	
<b>Net Circulation Factor</b>			0			0	0	0	
<b>Net Usable Area</b>			<b>6,076</b>			<b>0</b>	<b>0</b>	<b>0</b>	

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Milestones	Number of Spaces			Existing	MWL Space Std.	Exist.		2025		2040		
	Exist.	2025	2040			Area Totals	Area Totals	Area Totals	Area Totals	Area Totals		
<b>50 Yd Firing Range (30 Lanes)</b>												
Main Entry Vestibule		1	1		160			160		160		
Office Area		1	1		400			400		400		
• Lead Firearms Instructor 1												
• Firearms Instructor 2												
• Staff												
Range Access Vestibules		2	2		80			160		160		
30 Positions/ 50 Yds Firing Range Lanes		1	1		27,360			27,360		27,360		
Weapons Cleaning		1	1		1,350			1,350		1,350		
Ready/Range Prep		1	1		510			510		510		
Armory		1	1		150			150		150		
Armorer's Office and Maintenance Work Area		1	1		250			250		250		
Ammunition/misc. Storage		1	1		300			300		300		
Range Storage		1	1		300			300		300		
Firearms Training Classroom		1	1		1,350			1,350		1,350		
Vertical Weapons Lockers								0		0		
Unisex Toilet		1	4		288			288		1,152		
Janitor		1	1		40			40		40		
HEPA-VAC and Storage		1	1		60			60		60		
<b>Subtotals</b>							0	32,678		33,542		
<b>Net Circulation Factor</b>					5%		0	1,634		1,677		
<b>Net Usable Area</b>							0	34,312		35,219		

Includes growth for future firearms instructors

Includes Bullet Trap, Stage, and Air Supply wall

30 People gun cleaning + clearing port, air compressors, ultrasound cleaner  
Ammunition; supplies; props

Accommodate 60 lockers (36" wide x 12" deep x 60" high), handgun lockers stack on top

300,000 rounds of rifle and handgun ammo

30 ppl

In Dormitory corridor

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Milestones	Number of Spaces			Existing	MWL Space Std.	Exist.		2025		2040	
	2025	2040	Totals			Area	Totals	Area	Totals	Area	Totals

<b>07 Tactical Village Training</b>											
1	Two-Story Residence (w/stair at each end)	1	1		2,000		2000	2000	2000	2000	
1	Toilet Rooms	2	2	T1			128	128	128	128	
2	Police station w/processing/holding	1	1				0	0	0	0	holding cell; interview; transport
2	Holding	1	1				0	0	0	0	
2	Courthouse	1	1				0	0	0	0	court entry; mock courtroom; mock testimony
3	Small Bar	1	1		1,500		1500	1500	1500	1500	
3	Convenience Store	1	1		1,500		1500	1500	1500	1500	
4	Single wide Mobile Home	1	1		800		800	800	800	800	
4	Double Wide Mobile Home	1	1		1,600		1600	1600	1600	1600	
4	Motel										
5	School	1	1		1,500		1500	1500	1500	1500	
	Curb/Sidewalk						0	0	0	0	Target system needs to be replaced
	Paved and Dirt roads						0	0	0	0	
	Fire Arms						0	0	0	0	
<b>Subtotals</b>							0	9,028	9,028	9,028	
<b>Net Circulation Factor</b>							0	0	0	0	
<b>Net Usable Area</b>							0	9,028	9,028	9,028	

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Milestones	Exist.			MWL Space Std.	Exist.		2025		2040	
	Area	Totals	Area		Totals	Area	Totals	Area	Totals	
<b>08 EVOC Driving Track, Skills/Skid Pad</b>										
Maintenance Shop EVOC (estimated GSF)	1	1	1,500	1,500	1,500	1,500	1,500	1,500	1,500	1,500
New Vehicle Storage Facility (separate from Veh. Maint.)	1	1	6,800	6,800	6,800	6,800	6,800	6,800	6,800	6,800
New Vehicle Fueling Station w/ canopy	1	1	700	700	700	700	700	700	700	700
New Vehicle Washbay w/ canopy	1	1	550	550	550	550	550	550	550	550
New Toilet facility at EVOC	2	2	72	72	144	144	144	144	144	144
New Covered Briefing/ Debriefing Stations	1	1	200	200	200	200	200	200	200	200
New High Speed Pursuit training track	1	1	0	0	0	0	0	0	0	0
New Off-road vehicles and bike terrain training courses	1	1	0	0	0	0	0	0	0	0
<b>Subtotals</b>				1,500	9,894	9,894	9,894	9,894	9,894	9,894
Net Circulation Factor				0%	0	0	0	0	0	0
<b>Net Usable Area</b>				<b>1,500</b>	<b>9,894</b>	<b>9,894</b>	<b>9,894</b>	<b>9,894</b>	<b>9,894</b>	<b>9,894</b>

Existing shop size ok for current use, but need separate vehicle storage facility. Shop space includes tires, oil, cone storage of 100 SF.

22 car storage capacity covers current fleet

Facility size. See site spreadsheet for site area

Facility size. See site spreadsheet for site area

No structure. See site areas

No structure. See site areas

[ 3.0 Estimates ]

## Estimate Summary

The estimates that follow this summary are based on probable costs for the two recommended Alternatives. These estimates have been categorized to correspond to the eight primary functions identified in the Program and Function portion of this report.

The summary sheet follows The Construction Specifications Institute (CSI) MasterFormat Division classifications with detailed backup for each division.

### Alternative 1 - New Construction on New Site

As presented, Alternative 1 is assumed to be on a relatively flat site, therefore the overall per square foot numbers for each primary function are generally lower. This is a distinct advantage identified in the Choosing By Advantages Matrix (CBAM) and Most Cost Effective Remedy (MCER) portion of this report. Site work associated with each function is included in the estimate numbers and is graphically shown on 2.1 – Estimating Key. Additionally, Alternative 1 also has space for future growth 20 years out.

**Administration / Instructor / Staff / Support Spaces.** The large cost driver is the building which carries a larger percentage of the site work including principal site utilities and also has a high percentage of glazing for the area.

**Lecture / Classroom / Laboratory / Meeting Facilities.** The cost drivers include a fair amount of the forward site work, along with some above normal cost items like interior partitions and glazing.

**Law Enforcement Training Center (LETC) Facilities.** The cost drivers include a two-story structure plus a taller administration building for specialty support. Specialty support includes masonry walls for track for both walls all the way around and carries most of the structure over the defensive tactics and specialty training areas.

**Defensive Tactics Training.** See LETC – Structure is largely contained in LETC.

**Specialty Scenario Training Environments.** See LETC – Structure is largely contained in LETC.

**Firearms Training and Support Spaces.** The cost driver for this area is largely the specialized equipment for the indoor range which offsets many of the lowered costs of finishes. Exterior Range include a cast concrete wall with cast concrete cross beams.

**Tactical Village Training.** This area includes the marginally finished mock school, bar, convenience store and motel buildings. The prop blocks have a pad and framing allowance included. The single wide and double wide include concrete pads only.

## ESTIMATE SUMMARY

*EVOG Driving Track / Skills Pad.* It is assumed that new property is sufficiently within tolerances for flatness that no major earthwork is required, and that construction can keep to confines of the area such that native grasses do not need to be seeded in large amounts.

*Property Cost.* Determined by looking at properties of comparable size that were both “for sale” and “not for sale” per the website Zillow.com, then took an average and added over 50% assuming that a property close to Douglas is desirable and that a larger offer would need to be tendered for properties that are not for sale.

### **Alternative 3 - Existing Site, Remodel Existing Building with Addition and Acquiring Additional Contiguous Property.**

The existing building terrain is challenging and requires substantially more earthwork for all added structures and paving. For example, the new dorms and conference center would need to be elevated to match existing building elevation with added below grade parking structures requiring additional high cost items like large retaining walls, stairs, and elevator stops.

Additions to existing buildings can be high cost per SF especially when they have high exterior surface SF to interior SF ratios and may require core MEP upgrades.

*Administration / Instructor / Staff / Support Spaces.* A large cost driver is exterior to interior ratio of added building area, along with considerations for matching the interiors and exterior along with patching into existing structure along with responsible demo.

*Lecture / Classroom / Laboratory / Meeting Facilities.* A large cost driver is exterior to interior ratio of added building area, including added track with assumed masonry walls. Conference Center also has another layer of structure (parking garage) to facilitate proposed location along with retaining walls, necessary elevator, and stairs from grade parking for conference building, and upgrades to HVAC plant.

*Law Enforcement Training Center (LETC) Facilities.* A large cost driver is exterior to interior ratio of added building area. New Advanced Training Dormitories also has another layer of structure (parking garage) to facilitate proposed location along with retaining walls, elevator, stairs, and upgrades to HVAC plant. Existing Dorm also requires the addition of an elevator.

*Defensive Tactics Training.* This is a minor remodel – no structural changes.

*Specialty Scenario Training Environments.* This is a minor remodel – no structural changes.

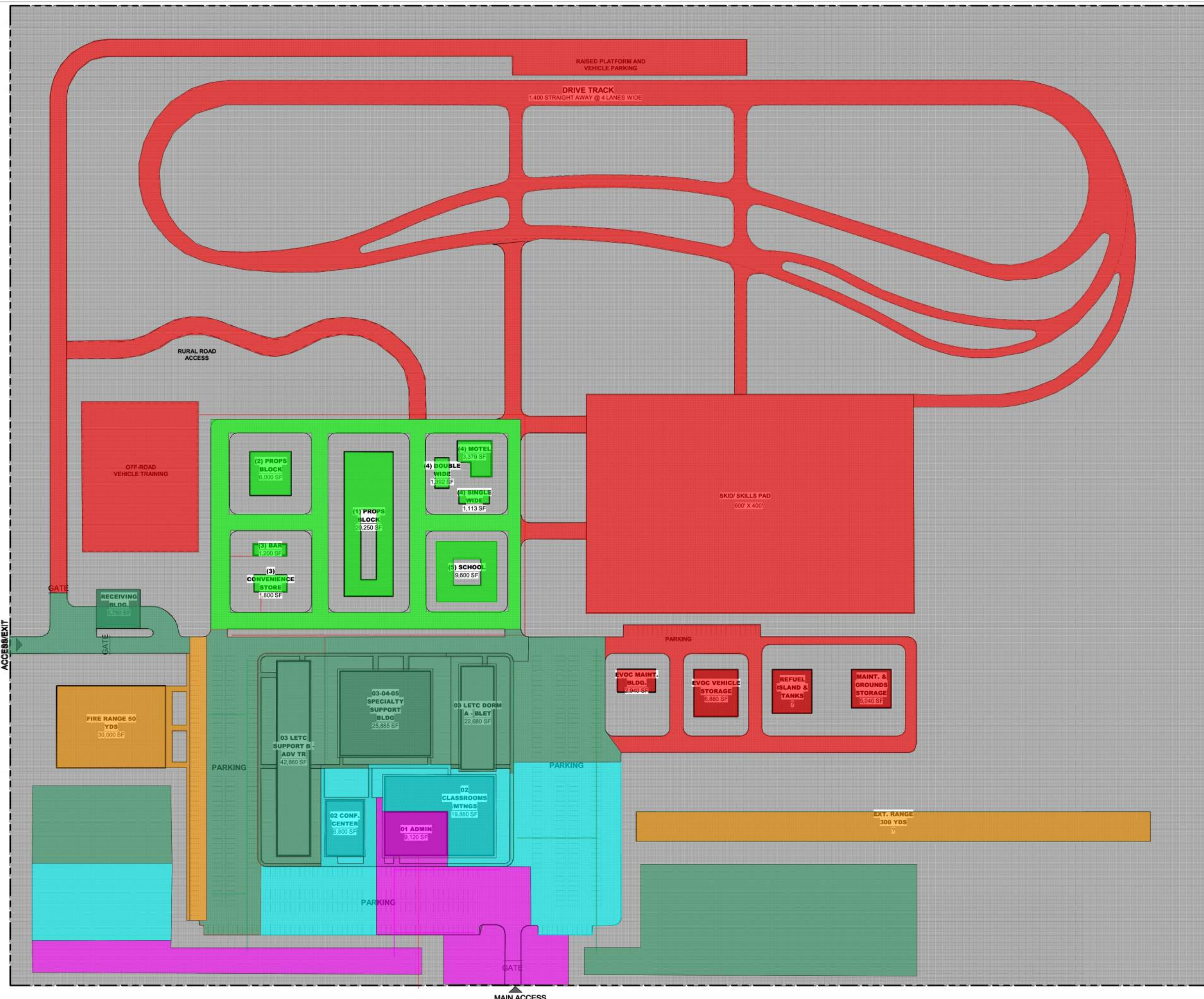
*Firearms Training and Support Spaces.* In this Alternative this space is close in objective to new site with differences coming down to slightly different site considerations.

*Tactical Village Training.* In this Alternative this space is close in objective to new site with differences coming down to different site considerations

## ESTIMATE SUMMARY

***EVOC Driving Track / Skills Pad.*** The EVOC track on the proposed property will need a substantial amount of earthwork along with a retaining wall by the riverbank to try to get the track area somewhere closer to near level. There are significant drainages that cross the proposed area towards to the river. Costly systems will need to be installed drainage will need to be directed under the track and pads to the river. This is a large earthwork project. Site **would require a new run for water from existing facility along with a retaining wall near the river's edge.** Site elevation change from river to back edge of property is around 50 feet.

***Property Cost.*** This was determined by looking at property value per the website Zillow.com, then added over 50% assuming that a larger offer would need to be tendered for a property that isn't for sale.



**BUILDINGS & STRUCTURES GSF**

Space	Area
01 ADMIN	9,120
01 ADMIN	9,120
02 CLASSROOMS /MTNGS	19,880
02 CONF. CENTER	6,800
02 CLASSROOMS	26,680
03 LETC DORM A - BLET	11,340
03 LETC SUPPORT B - ADV TR	21,430
03 LETC SUPPORT	32,770
03-04-05 SPECIALTY SUPPORT BLDG	25,885
04 D.T. / FITNESS	25,885
FIRE RANGE 50 YDS	30,000
06 FIRE RANGE	30,000
(1) PROPS BLOCK	20,250
(2) PROPS BLOCK	6,000
(3) BAR	1,200
(3) CONVENIENCE STORE	1,800
(4) DOUBLE WIDE	1,392
(4) MOTEL	3,379
(4) SINGLE WIDE	1,113
(5) SCHOOL	9,600
07 TACTICAL VILLAGE TRAINING	44,734
03 LETC DORM A - BLET	11,340
03 LETC SUPPORT B - ADV TR	21,430
EVOC MAINT. BLDG.	2,940
EVOC VEHICLE STORAGE	6,880
MAINT. & GROUNDS STORAGE	5,040
RECEIVING BLDG.	5,760
08 EVOC DRIVING TRACK	53,390
Grand total	222,580

PARKING	
PARKING SPACE	567 9' x 18'
Grand total	567

**NEW WLEA SITE**  
90.91 acres

**Wyoming Law Enforcement Academy**  
Street Name and Number

Date	2.13.20
Issue	Planning
Project Number	XXXX
Revisions	1/1

DIAGRAMATIC SITE PLAN



WLEA Feasibility Study New Site

Job Duration (Months):  
Area Square Footage:

16.01 Months  
231,246 SF

Area: PROJECT TOTAL

Estimate dated: May 5, 2020

Description	Estimate	Price per SF
New Administration/Instructor/Staff Offices and Support Spaces	\$ 3,254,318	\$ 364.67 /SF
New Lecture / Classroom / Laboratory / Meeting Facilities	\$ 9,376,944	\$ 342.94 /SF
New LETC Support Facilities	\$ 28,059,547	\$ 274.36 /SF
New Defensive Tactics	\$ 1,240,165	\$ 196.85 /SF
New Specialty Scenario Training Environments	\$ 522,222	\$ 211.26 /SF
New Firearms Training and Support Spaces	\$ 7,635,880	\$ 260.00 /SF
New Tactical Village Training	\$ 4,305,639	\$ 96.25 /SF
New EVOC Driving Track, Skills / Skid Pad	\$ 10,659,894	
Potential Land Puchase Price	\$ 874,500	
<b>New Site Project Total Site Improvements</b>	<b>\$ 65,929,110</b>	<b>\$ 285.10 /SF</b>



Area: PROJECT TOTAL

Estimate dated: May 5, 2020

Description		Estimate	Price per SF
<b>01.00.00 - GENERAL REQUIREMENTS:</b>			
GENERAL CONDITIONS	5.74%	\$ 2,829,158	\$ 12.23 /SF
<b>03.00.00 - CONCRETE:</b>			
CIP AND TILT-UP CONCRETE & REBAR	5.83%	\$ 2,871,185	\$ 12.42 /SF
<b>04.00.00 - MASONRY:</b>			
UNIT MASONRY	4.61%	\$ 2,269,600	\$ 9.81 /SF
<b>05.00.00 - METALS:</b>			
STRUCTURAL STEEL / MISC. METALS / METAL C	5.37%	\$ 2,648,011	\$ 11.45 /SF
<b>06.00.00 - WOOD, PLASTICS &amp; COMPOSITES:</b>			
ROUGH CARPENTRY	1.28%	\$ 631,142	\$ 2.73 /SF
MILLWORK & TRIM	0.59%	\$ 289,370	\$ 1.25 /SF
<b>07.00.00 - THERMAL &amp; MOISTURE PROTECTION:</b>			
BUILDING INSULATION	1.27%	\$ 624,546	\$ 2.70 /SF
ROOFING	2.51%	\$ 1,238,030	\$ 5.35 /SF
EXPANSION JOINT ASSEMBLIES	0.16%	\$ 79,160	\$ 0.34 /SF
SIDING	0.34%	\$ 165,234	\$ 0.71 /SF
<b>08.00.00 - OPENINGS:</b>			
DOORS, FRAMES & HW	1.91%	\$ 941,113	\$ 4.07 /SF
OVERHEAD COILING DOORS	0.02%	\$ 10,760	\$ 0.05 /SF
GLASS & GLAZING	2.11%	\$ 1,038,316	\$ 4.49 /SF
<b>09.00.00 - FINISHES:</b>			
FRAMING, DRYWALL, GFRG & FRP	3.70%	\$ 1,824,796	\$ 7.89 /SF
GRID CEILING SYSTEMS	1.49%	\$ 732,139	\$ 3.17 /SF
CERAMIC TILE	0.31%	\$ 152,954	\$ 0.66 /SF
RESILIENT FLOORING & CARPET	1.46%	\$ 721,330	\$ 3.12 /SF
ATHLETIC FLOORING	0.29%	\$ 141,260	\$ 0.61 /SF
PAINT	1.56%	\$ 767,203	\$ 3.32 /SF
<b>10.00.00 - SPECIALTIES:</b>			
TOILET PARTITIONS	0.05%	\$ 22,300	\$ 0.10 /SF
TOILET ACCESSORIES	0.03%	\$ 16,704	\$ 0.07 /SF
FIRE PROTECTION SPECIALTIES	0.03%	\$ 14,850	\$ 0.06 /SF
SIGNAGE / IDENTIFICATION DEVICES	0.06%	\$ 31,125	\$ 0.13 /SF
UNIT LOCKERS	0.08%	\$ 39,500	\$ 0.17 /SF
OPERABLE PARTITIONS	0.40%	\$ 195,600	\$ 0.85 /SF
<b>11.00.00 - EQUIPMENT:</b>			
FOOD SERVICE EQUIPMENT	1.05%	\$ 515,400	\$ 2.23 /SF
SHOOTING RANGE EQUIPMENT	2.58%	\$ 1,269,000	\$ 5.49 /SF
RESIDENTIAL APPLIANCES	0.01%	\$ 5,000	\$ 0.02 /SF
THEATRICAL EQUIPMENT	0.64%	\$ 315,000	\$ 1.36 /SF
<b>12.00.00 - FURNISHINGS:</b>			
PEMB	2.27%	\$ 1,119,800	\$ 4.84 /SF
<b>14.00.00 - CONVEYING EQUIPMENT:</b>			
ELEVATORS	0.34%	\$ 170,000	\$ 0.74 /SF
<b>21.00.00 - FIRE SUPPRESSION:</b>			
FIRE SPRINKLER	1.48%	\$ 727,545	\$ 3.15 /SF
<b>22.00.00 - PLUMBING:</b>			
PLUMBING	3.38%	\$ 1,664,130	\$ 7.20 /SF
<b>23.00.00 - HEATING, VENTILATING &amp; AIR-CONDITIONING</b>			
HVAC	11.63%	\$ 5,731,720	\$ 24.79 /SF
<b>26.00.00 - ELECTRICAL:</b>			
ELECTRICAL	8.09%	\$ 3,988,352	\$ 17.25 /SF
FIRE ALARM	0.81%	\$ 397,535	\$ 1.72 /SF
<b>27.00.00 - LOW VOLTAGE:</b>			
TELEDATA	1.96%	\$ 964,705	\$ 4.17 /SF
SECURITY & ACCESS CONTROL	0.41%	\$ 200,800	\$ 0.87 /SF
AUDIO-VISUAL	0.08%	\$ 40,000	\$ 0.17 /SF
<b>31.00.00 - EARTHWORK:</b>			
EARTHWORK	11.57%	\$ 5,699,628	\$ 24.65 /SF
<b>32.00.00 - EXTERIOR IMPROVEMENTS:</b>			
PAVEMENT MARKINGS	0.11%	\$ 56,175	\$ 0.24 /SF
SITE CONCRETE	9.24%	\$ 4,551,253	\$ 19.68 /SF
LANDSCAPING / IRRIGATION	1.04%	\$ 510,720	\$ 2.21 /SF
<b>33.00.00 - UTILITIES:</b>			
SITE UTILITIES	2.14%	\$ 1,056,705	\$ 4.57 /SF
<b>SUBTOTAL:</b>		<b>\$ 49,278,853</b>	<b>\$ 213.10 /SF</b>
BUILDER'S RISK INSURANCE:	0.10%	\$ 62,495	\$ 0.27 /SF
GENERAL LIABILITY INSURANCE:	0.65%	\$ 422,855	\$ 1.83 /SF
GENERAL CONTRACTOR BOND:	0.56%	\$ 367,550	\$ 1.59 /SF
PROJECT ESCALATION:	7.47%	\$ 3,743,700	\$ 16.19 /SF
DRAWING DEV. CONTINGENCY:	15.00%	\$ 8,081,318	\$ 34.95 /SF
GENERAL CONTRACTOR FEE:	5.00%	\$ 3,097,842	\$ 13.40 /SF
<b>TOTAL:</b>		<b>\$ 65,054,610</b>	<b>\$ 281.32 /SF</b>



Estimate dated: May 5, 2020

Description		Estimate	Price per SF
<b>01.00.00 - GENERAL REQUIREMENTS:</b>			
GENERAL CONDITIONS	8.84%	\$ 217,993	\$ 24.43 /SF
<b>03.00.00 - CONCRETE:</b>			
CIP AND TILT-UP CONCRETE & REBAR	3.01%	\$ 74,250	\$ 8.32 /SF
<b>04.00.00 - MASONRY:</b>			
UNIT MASONRY	2.68%	\$ 66,000	\$ 7.40 /SF
<b>05.00.00 - METALS:</b>			
STRUCTURAL STEEL / MISC. METALS / METAL C	6.10%	\$ 150,494	\$ 16.86 /SF
<b>06.00.00 - WOOD, PLASTICS &amp; COMPOSITES:</b>			
ROUGH CARPENTRY	0.14%	\$ 3,507	\$ 0.39 /SF
MILLWORK & TRIM	2.14%	\$ 52,850	\$ 5.92 /SF
<b>07.00.00 - THERMAL &amp; MOISTURE PROTECTION:</b>			
BUILDING INSULATION	1.24%	\$ 30,630	\$ 3.43 /SF
ROOFING	3.32%	\$ 81,914	\$ 9.18 /SF
EXPANSION JOINT ASSEMBLIES	0.20%	\$ 5,000	\$ 0.56 /SF
SIDING		\$ -	\$ -
<b>08.00.00 - OPENINGS:</b>			
DOORS, FRAMES & HW	3.09%	\$ 76,095	\$ 8.53 /SF
OVERHEAD COILING DOORS	0.06%	\$ 1,560	\$ 0.17 /SF
GLASS & GLAZING	2.95%	\$ 72,628	\$ 8.14 /SF
<b>09.00.00 - FINISHES:</b>			
FRAMING, DRYWALL, GFRG & FRP	4.53%	\$ 111,699	\$ 12.52 /SF
GRID CEILING SYSTEMS	1.65%	\$ 40,710	\$ 4.56 /SF
CERAMIC TILE	0.43%	\$ 10,557	\$ 1.18 /SF
RESILIENT FLOORING & CARPET	2.23%	\$ 54,905	\$ 6.15 /SF
ATHLETIC FLOORING		\$ -	\$ -
PAINT	1.88%	\$ 46,440	\$ 5.20 /SF
<b>10.00.00 - SPECIALTIES:</b>			
TOILET PARTITIONS	0.12%	\$ 3,020	\$ 0.34 /SF
TOILET ACCESSORIES	0.08%	\$ 2,039	\$ 0.23 /SF
FIRE PROTECTION SPECIALTIES	0.03%	\$ 743	\$ 0.08 /SF
SIGNAGE / IDENTIFICATION DEVICES	0.12%	\$ 2,925	\$ 0.33 /SF
UNIT LOCKERS		\$ -	\$ -
OPERABLE PARTITIONS		\$ -	\$ -
<b>11.00.00 - EQUIPMENT:</b>			
FOOD SERVICE EQUIPMENT		\$ -	\$ -
SHOOTING RANGE EQUIPMENT		\$ -	\$ -
RESIDENTIAL APPLIANCES		\$ -	\$ -
THEATRICAL EQUIPMENT		\$ -	\$ -
<b>12.00.00 - FURNISHINGS:</b>			
PEMB		\$ -	\$ -
<b>14.00.00 - CONVEYING EQUIPMENT:</b>			
ELEVATORS		\$ -	\$ -
<b>21.00.00 - FIRE SUPPRESSION:</b>			
FIRE SPRINKLER	1.50%	\$ 37,035	\$ 4.15 /SF
<b>22.00.00 - PLUMBING:</b>			
PLUMBING	2.55%	\$ 62,792	\$ 7.04 /SF
<b>23.00.00 - HEATING, VENTILATING &amp; AIR-CONDITIONING</b>			
HVAC	14.97%	\$ 369,127	\$ 41.36 /SF
<b>26.00.00 - ELECTRICAL:</b>			
ELECTRICAL	8.47%	\$ 208,744	\$ 23.39 /SF
FIRE ALARM	0.81%	\$ 20,079	\$ 2.25 /SF
<b>27.00.00 - LOW VOLTAGE:</b>			
TELEDATA	2.56%	\$ 62,993	\$ 7.06 /SF
SECURITY & ACCESS CONTROL	0.61%	\$ 15,100	\$ 1.69 /SF
AUDIO-VISUAL	0.20%	\$ 5,000	\$ 0.56 /SF
<b>31.00.00 - EARTHWORK:</b>			
EARTHWORK	6.70%	\$ 165,182	\$ 18.51 /SF
<b>32.00.00 - EXTERIOR IMPROVEMENTS:</b>			
PAVEMENT MARKINGS	0.26%	\$ 6,500	\$ 0.73 /SF
SITE CONCRETE	9.48%	\$ 233,753	\$ 26.19 /SF
LANDSCAPING / IRRIGATION	2.97%	\$ 73,134	\$ 8.20 /SF
<b>33.00.00 - UTILITIES:</b>			
SITE UTILITIES	4.05%	\$ 99,725	\$ 11.17 /SF
<b>SUBTOTAL:</b>		<b>\$ 2,465,122</b>	<b>\$ 276.24 /SF</b>
BUILDER'S RISK INSURANCE:	0.10%	\$ 3,126	\$ 0.35 /SF
GENERAL LIABILITY INSURANCE:	0.65%	\$ 21,153	\$ 2.37 /SF
GENERAL CONTRACTOR BOND:	0.56%	\$ 18,386	\$ 2.06 /SF
PROJECT ESCALATION:	7.47%	\$ 187,300	\$ 20.99 /SF
DRAWING DEV. CONTINGENCY:	15.00%	\$ 404,263	\$ 45.30 /SF
GENERAL CONTRACTOR FEE:	5.00%	\$ 154,968	\$ 17.37 /SF
<b>TOTAL:</b>		<b>\$ 3,254,318</b>	<b>\$ 364.67 /SF</b>



Estimate dated: May 5, 2020

Description		Estimate	Price per SF
<b>01.00.00 - GENERAL REQUIREMENTS:</b>			
GENERAL CONDITIONS	7.45%	\$ 529,411	\$ 19.36 /SF
<b>03.00.00 - CONCRETE:</b>			
CIP AND TILT-UP CONCRETE & REBAR	4.09%	\$ 290,308	\$ 10.62 /SF
<b>04.00.00 - MASONRY:</b>			
UNIT MASONRY	5.18%	\$ 367,620	\$ 13.44 /SF
<b>05.00.00 - METALS:</b>			
STRUCTURAL STEEL / MISC. METALS / METAL C	6.44%	\$ 457,107	\$ 16.72 /SF
<b>06.00.00 - WOOD, PLASTICS &amp; COMPOSITES:</b>			
ROUGH CARPENTRY	0.23%	\$ 16,645	\$ 0.61 /SF
MILLWORK & TRIM	1.97%	\$ 139,680	\$ 5.11 /SF
<b>07.00.00 - THERMAL &amp; MOISTURE PROTECTION:</b>			
BUILDING INSULATION	1.76%	\$ 124,878	\$ 4.57 /SF
ROOFING	2.50%	\$ 177,809	\$ 6.50 /SF
EXPANSION JOINT ASSEMBLIES	0.27%	\$ 19,250	\$ 0.70 /SF
SIDING		\$ -	\$ -
<b>08.00.00 - OPENINGS:</b>			
DOORS, FRAMES & HW	1.56%	\$ 110,825	\$ 4.05 /SF
OVERHEAD COILING DOORS	0.05%	\$ 3,200	\$ 0.12 /SF
GLASS & GLAZING	4.11%	\$ 291,640	\$ 10.67 /SF
<b>09.00.00 - FINISHES:</b>			
FRAMING, DRYWALL, GFRG & FRP	3.84%	\$ 272,610	\$ 9.97 /SF
GRID CEILING SYSTEMS	1.71%	\$ 121,215	\$ 4.43 /SF
CERAMIC TILE	0.56%	\$ 40,050	\$ 1.46 /SF
RESILIENT FLOORING & CARPET	2.27%	\$ 161,393	\$ 5.90 /SF
ATHLETIC FLOORING		\$ -	\$ -
PAINT	1.58%	\$ 112,261	\$ 4.11 /SF
<b>10.00.00 - SPECIALTIES:</b>			
TOILET PARTITIONS	0.13%	\$ 9,060	\$ 0.33 /SF
TOILET ACCESSORIES	0.10%	\$ 6,809	\$ 0.25 /SF
FIRE PROTECTION SPECIALTIES	0.03%	\$ 2,475	\$ 0.09 /SF
SIGNAGE / IDENTIFICATION DEVICES	0.06%	\$ 4,050	\$ 0.15 /SF
UNIT LOCKERS		\$ -	\$ -
OPERABLE PARTITIONS	2.75%	\$ 195,600	\$ 7.15 /SF
<b>11.00.00 - EQUIPMENT:</b>			
FOOD SERVICE EQUIPMENT		\$ -	\$ -
SHOOTING RANGE EQUIPMENT		\$ -	\$ -
RESIDENTIAL APPLIANCES	0.07%	\$ 5,000	\$ 0.18 /SF
THEATRICAL EQUIPMENT	4.43%	\$ 315,000	\$ 11.52 /SF
<b>12.00.00 - FURNISHINGS:</b>			
PEMB		\$ -	\$ -
<b>14.00.00 - CONVEYING EQUIPMENT:</b>			
ELEVATORS		\$ -	\$ -
<b>21.00.00 - FIRE SUPPRESSION:</b>			
FIRE SPRINKLER	1.60%	\$ 113,473	\$ 4.15 /SF
<b>22.00.00 - PLUMBING:</b>			
PLUMBING	3.31%	\$ 235,279	\$ 8.60 /SF
<b>23.00.00 - HEATING, VENTILATING &amp; AIR-CONDITIONING</b>			
HVAC	14.14%	\$ 1,004,688	\$ 36.74 /SF
<b>26.00.00 - ELECTRICAL:</b>			
ELECTRICAL	8.93%	\$ 634,223	\$ 23.20 /SF
FIRE ALARM	0.87%	\$ 61,522	\$ 2.25 /SF
<b>27.00.00 - LOW VOLTAGE:</b>			
TELEDATA	2.24%	\$ 158,912	\$ 5.81 /SF
SECURITY & ACCESS CONTROL	0.99%	\$ 70,600	\$ 2.58 /SF
AUDIO-VISUAL	0.42%	\$ 30,000	\$ 1.10 /SF
<b>31.00.00 - EARTHWORK:</b>			
EARTHWORK	4.76%	\$ 338,034	\$ 12.36 /SF
<b>32.00.00 - EXTERIOR IMPROVEMENTS:</b>			
PAVEMENT MARKINGS	0.09%	\$ 6,500	\$ 0.24 /SF
SITE CONCRETE	7.59%	\$ 538,903	\$ 19.71 /SF
LANDSCAPING / IRRIGATION	0.28%	\$ 19,868	\$ 0.73 /SF
<b>33.00.00 - UTILITIES:</b>			
SITE UTILITIES	1.65%	\$ 117,150	\$ 4.28 /SF
<b>SUBTOTAL:</b>		<b>\$ 7,103,048</b>	<b>\$ 259.78 /SF</b>
BUILDER'S RISK INSURANCE:	0.10%	\$ 9,008	\$ 0.33 /SF
GENERAL LIABILITY INSURANCE:	0.65%	\$ 60,950	\$ 2.23 /SF
GENERAL CONTRACTOR BOND:	0.56%	\$ 52,979	\$ 1.94 /SF
PROJECT ESCALATION:	7.47%	\$ 539,600	\$ 19.73 /SF
DRAWING DEV. CONTINGENCY:	15.00%	\$ 1,164,838	\$ 42.60 /SF
GENERAL CONTRACTOR FEE:	5.00%	\$ 446,521	\$ 16.33 /SF
<b>TOTAL:</b>		<b>\$ 9,376,944</b>	<b>\$ 342.94 /SF</b>



Estimate dated: May 5, 2020

Description		Estimate	Price per SF
<b>01.00.00 - GENERAL REQUIREMENTS:</b>			
GENERAL CONDITIONS	3.81%	\$ 809,687	\$ 7.92 /SF
<b>03.00.00 - CONCRETE:</b>			
CIP AND TILT-UP CONCRETE & REBAR	4.13%	\$ 878,064	\$ 8.59 /SF
<b>04.00.00 - MASONRY:</b>			
UNIT MASONRY	7.48%	\$ 1,589,020	\$ 15.54 /SF
<b>05.00.00 - METALS:</b>			
STRUCTURAL STEEL / MISC. METALS / METAL C	6.02%	\$ 1,280,338	\$ 12.52 /SF
<b>06.00.00 - WOOD, PLASTICS &amp; COMPOSITES:</b>			
ROUGH CARPENTRY	0.12%	\$ 24,744	\$ 0.24 /SF
MILLWORK & TRIM	0.05%	\$ 11,550	\$ 0.11 /SF
<b>07.00.00 - THERMAL &amp; MOISTURE PROTECTION:</b>			
BUILDING INSULATION	1.99%	\$ 423,511	\$ 4.14 /SF
ROOFING	3.02%	\$ 642,859	\$ 6.29 /SF
EXPANSION JOINT ASSEMBLIES	0.26%	\$ 54,910	\$ 0.54 /SF
SIDING		\$ -	\$ -
<b>08.00.00 - OPENINGS:</b>			
DOORS, FRAMES & HW	2.82%	\$ 599,101	\$ 5.86 /SF
OVERHEAD COILING DOORS		\$ -	\$ -
GLASS & GLAZING	2.65%	\$ 564,080	\$ 5.52 /SF
<b>09.00.00 - FINISHES:</b>			
FRAMING, DRYWALL, GFRG & FRP	6.04%	\$ 1,283,683	\$ 12.55 /SF
GRID CEILING SYSTEMS	2.31%	\$ 491,008	\$ 4.80 /SF
CERAMIC TILE	0.44%	\$ 93,284	\$ 0.91 /SF
RESILIENT FLOORING & CARPET	2.09%	\$ 443,607	\$ 4.34 /SF
ATHLETIC FLOORING	0.51%	\$ 107,420	\$ 1.05 /SF
PAINT	2.46%	\$ 523,048	\$ 5.11 /SF
<b>10.00.00 - SPECIALTIES:</b>			
TOILET PARTITIONS	0.04%	\$ 8,100	\$ 0.08 /SF
TOILET ACCESSORIES	0.03%	\$ 5,892	\$ 0.06 /SF
FIRE PROTECTION SPECIALTIES	0.04%	\$ 8,415	\$ 0.08 /SF
SIGNAGE / IDENTIFICATION DEVICES	0.10%	\$ 21,000	\$ 0.21 /SF
UNIT LOCKERS	0.15%	\$ 32,625	\$ 0.32 /SF
OPERABLE PARTITIONS		\$ -	\$ -
<b>11.00.00 - EQUIPMENT:</b>			
FOOD SERVICE EQUIPMENT	2.42%	\$ 515,400	\$ 5.04 /SF
SHOOTING RANGE EQUIPMENT		\$ -	\$ -
RESIDENTIAL APPLIANCES		\$ -	\$ -
THEATRICAL EQUIPMENT		\$ -	\$ -
<b>12.00.00 - FURNISHINGS:</b>			
PEMB		\$ -	\$ -
<b>14.00.00 - CONVEYING EQUIPMENT:</b>			
ELEVATORS	0.80%	\$ 170,000	\$ 1.66 /SF
<b>21.00.00 - FIRE SUPPRESSION:</b>			
FIRE SPRINKLER	2.00%	\$ 424,437	\$ 4.15 /SF
<b>22.00.00 - PLUMBING:</b>			
PLUMBING	5.30%	\$ 1,127,257	\$ 11.02 /SF
<b>23.00.00 - HEATING, VENTILATING &amp; AIR-CONDITIONING</b>			
HVAC	18.51%	\$ 3,933,633	\$ 38.46 /SF
<b>26.00.00 - ELECTRICAL:</b>			
ELECTRICAL	11.19%	\$ 2,378,129	\$ 23.25 /SF
FIRE ALARM	1.08%	\$ 230,117	\$ 2.25 /SF
<b>27.00.00 - LOW VOLTAGE:</b>			
TELEDATA	2.57%	\$ 546,188	\$ 5.34 /SF
SECURITY & ACCESS CONTROL	0.37%	\$ 77,700	\$ 0.76 /SF
AUDIO-VISUAL	0.02%	\$ 5,000	\$ 0.05 /SF
<b>31.00.00 - EARTHWORK:</b>			
EARTHWORK	3.37%	\$ 715,635	\$ 7.00 /SF
<b>32.00.00 - EXTERIOR IMPROVEMENTS:</b>			
PAVEMENT MARKINGS	0.06%	\$ 12,000	\$ 0.12 /SF
SITE CONCRETE	4.13%	\$ 878,065	\$ 8.59 /SF
LANDSCAPING / IRRIGATION	0.35%	\$ 74,045	\$ 0.72 /SF
<b>33.00.00 - UTILITIES:</b>			
SITE UTILITIES	1.28%	\$ 271,590	\$ 2.66 /SF
<b>SUBTOTAL:</b>		<b>\$ 21,255,144</b>	<b>\$ 207.83 /SF</b>
BUILDER'S RISK INSURANCE:	0.10%	\$ 26,956	\$ 0.26 /SF
GENERAL LIABILITY INSURANCE:	0.65%	\$ 182,387	\$ 1.78 /SF
GENERAL CONTRACTOR BOND:	0.56%	\$ 158,533	\$ 1.55 /SF
PROJECT ESCALATION:	7.47%	\$ 1,614,700	\$ 15.79 /SF
DRAWING DEV. CONTINGENCY:	15.00%	\$ 3,485,658	\$ 34.08 /SF
GENERAL CONTRACTOR FEE:	5.00%	\$ 1,336,169	\$ 13.06 /SF
<b>TOTAL:</b>		<b>\$ 28,059,547</b>	<b>\$ 274.36 /SF</b>



Estimate dated: May 5, 2020

Description		Estimate	Price per SF
<b>01.00.00 - GENERAL REQUIREMENTS:</b>			
GENERAL CONDITIONS		\$ -	\$ -
<b>03.00.00 - CONCRETE:</b>			
CIP AND TILT-UP CONCRETE & REBAR	4.13%	\$ 38,826	\$ 6.16 /SF
<b>04.00.00 - MASONRY:</b>			
UNIT MASONRY	12.26%	\$ 115,200	\$ 18.29 /SF
<b>05.00.00 - METALS:</b>			
STRUCTURAL STEEL / MISC. METALS / METAL C	11.22%	\$ 105,359	\$ 16.72 /SF
<b>06.00.00 - WOOD, PLASTICS &amp; COMPOSITES:</b>			
ROUGH CARPENTRY	0.12%	\$ 1,153	\$ 0.18 /SF
MILLWORK & TRIM		\$ -	\$ -
<b>07.00.00 - THERMAL &amp; MOISTURE PROTECTION:</b>			
BUILDING INSULATION	0.47%	\$ 4,380	\$ 0.70 /SF
ROOFING		\$ -	\$ -
EXPANSION JOINT ASSEMBLIES		\$ -	\$ -
SIDING		\$ -	\$ -
<b>08.00.00 - OPENINGS:</b>			
DOORS, FRAMES & HW	3.60%	\$ 33,820	\$ 5.37 /SF
OVERHEAD COILING DOORS	0.32%	\$ 3,000	\$ 0.48 /SF
GLASS & GLAZING		\$ -	\$ -
<b>09.00.00 - FINISHES:</b>			
FRAMING, DRYWALL, GFRG & FRP	2.82%	\$ 26,452	\$ 4.20 /SF
GRID CEILING SYSTEMS	0.81%	\$ 7,636	\$ 1.21 /SF
CERAMIC TILE		\$ -	\$ -
RESILIENT FLOORING & CARPET	3.01%	\$ 28,309	\$ 4.49 /SF
ATHLETIC FLOORING	3.60%	\$ 33,840	\$ 5.37 /SF
PAINT	1.34%	\$ 12,614	\$ 2.00 /SF
<b>10.00.00 - SPECIALTIES:</b>			
TOILET PARTITIONS		\$ -	\$ -
TOILET ACCESSORIES		\$ -	\$ -
FIRE PROTECTION SPECIALTIES	0.08%	\$ 743	\$ 0.12 /SF
SIGNAGE / IDENTIFICATION DEVICES	0.13%	\$ 1,200	\$ 0.19 /SF
UNIT LOCKERS		\$ -	\$ -
OPERABLE PARTITIONS		\$ -	\$ -
<b>11.00.00 - EQUIPMENT:</b>			
FOOD SERVICE EQUIPMENT		\$ -	\$ -
SHOOTING RANGE EQUIPMENT		\$ -	\$ -
RESIDENTIAL APPLIANCES		\$ -	\$ -
THEATRICAL EQUIPMENT		\$ -	\$ -
<b>12.00.00 - FURNISHINGS:</b>			
PEMB		\$ -	\$ -
<b>14.00.00 - CONVEYING EQUIPMENT:</b>			
ELEVATORS		\$ -	\$ -
<b>21.00.00 - FIRE SUPPRESSION:</b>			
FIRE SPRINKLER	2.78%	\$ 26,145	\$ 4.15 /SF
<b>22.00.00 - PLUMBING:</b>			
PLUMBING	3.81%	\$ 35,830	\$ 5.69 /SF
<b>23.00.00 - HEATING, VENTILATING &amp; AIR-CONDITIONING</b>			
HVAC	27.66%	\$ 259,871	\$ 41.25 /SF
<b>26.00.00 - ELECTRICAL:</b>			
ELECTRICAL	15.49%	\$ 145,530	\$ 23.10 /SF
FIRE ALARM	1.51%	\$ 14,175	\$ 2.25 /SF
<b>27.00.00 - LOW VOLTAGE:</b>			
TELEDATA	4.29%	\$ 40,310	\$ 6.40 /SF
SECURITY & ACCESS CONTROL	0.53%	\$ 5,000	\$ 0.79 /SF
AUDIO-VISUAL		\$ -	\$ -
<b>31.00.00 - EARTHWORK:</b>			
EARTHWORK		\$ -	\$ -
<b>32.00.00 - EXTERIOR IMPROVEMENTS:</b>			
PAVEMENT MARKINGS		\$ -	\$ -
SITE CONCRETE		\$ -	\$ -
LANDSCAPING / IRRIGATION		\$ -	\$ -
<b>33.00.00 - UTILITIES:</b>			
SITE UTILITIES		\$ -	\$ -
<b>SUBTOTAL:</b>		<b>\$ 939,393</b>	<b>\$ 149.11 /SF</b>
BUILDER'S RISK INSURANCE:	0.10%	\$ 1,191	\$ 0.19 /SF
GENERAL LIABILITY INSURANCE:	0.65%	\$ 8,061	\$ 1.28 /SF
GENERAL CONTRACTOR BOND:	0.56%	\$ 7,007	\$ 1.11 /SF
PROJECT ESCALATION:	7.47%	\$ 71,400	\$ 11.33 /SF
DRAWING DEV. CONTINGENCY:	15.00%	\$ 154,058	\$ 24.45 /SF
GENERAL CONTRACTOR FEE:	5.00%	\$ 59,055	\$ 9.37 /SF
<b>TOTAL:</b>		<b>\$ 1,240,165</b>	<b>\$ 196.85 /SF</b>



Estimate dated: May 5, 2020

Description		Estimate	Price per SF
<b>01.00.00 - GENERAL REQUIREMENTS:</b>			
GENERAL CONDITIONS	14.55%	\$ 57,537	\$ 23.28 /SF
<b>03.00.00 - CONCRETE:</b>			
CIP AND TILT-UP CONCRETE & REBAR	4.74%	\$ 18,729	\$ 7.58 /SF
<b>04.00.00 - MASONRY:</b>			
UNIT MASONRY		\$ -	\$ -
<b>05.00.00 - METALS:</b>			
STRUCTURAL STEEL / MISC. METALS / METAL C	10.64%	\$ 42,082	\$ 17.02 /SF
<b>06.00.00 - WOOD, PLASTICS &amp; COMPOSITES:</b>			
ROUGH CARPENTRY	2.05%	\$ 8,095	\$ 3.27 /SF
MILLWORK & TRIM	4.61%	\$ 18,240	\$ 7.38 /SF
<b>07.00.00 - THERMAL &amp; MOISTURE PROTECTION:</b>			
BUILDING INSULATION		\$ -	\$ -
ROOFING		\$ -	\$ -
EXPANSION JOINT ASSEMBLIES		\$ -	\$ -
SIDING		\$ -	\$ -
<b>08.00.00 - OPENINGS:</b>			
DOORS, FRAMES & HW	6.41%	\$ 25,365	\$ 10.26 /SF
OVERHEAD COILING DOORS		\$ -	\$ -
GLASS & GLAZING		\$ -	\$ -
<b>09.00.00 - FINISHES:</b>			
FRAMING, DRYWALL, GFRG & FRP	1.84%	\$ 7,262	\$ 2.94 /SF
GRID CEILING SYSTEMS		\$ -	\$ -
CERAMIC TILE		\$ -	\$ -
RESILIENT FLOORING & CARPET	4.07%	\$ 16,113	\$ 6.52 /SF
ATHLETIC FLOORING		\$ -	\$ -
PAINT	3.19%	\$ 12,614	\$ 5.10 /SF
<b>10.00.00 - SPECIALTIES:</b>			
TOILET PARTITIONS		\$ -	\$ -
TOILET ACCESSORIES		\$ -	\$ -
FIRE PROTECTION SPECIALTIES	0.19%	\$ 743	\$ 0.30 /SF
SIGNAGE / IDENTIFICATION DEVICES	0.30%	\$ 1,200	\$ 0.49 /SF
UNIT LOCKERS		\$ -	\$ -
OPERABLE PARTITIONS		\$ -	\$ -
<b>11.00.00 - EQUIPMENT:</b>			
FOOD SERVICE EQUIPMENT		\$ -	\$ -
SHOOTING RANGE EQUIPMENT		\$ -	\$ -
RESIDENTIAL APPLIANCES		\$ -	\$ -
THEATRICAL EQUIPMENT		\$ -	\$ -
<b>12.00.00 - FURNISHINGS:</b>			
PEMB		\$ -	\$ -
<b>14.00.00 - CONVEYING EQUIPMENT:</b>			
ELEVATORS		\$ -	\$ -
<b>21.00.00 - FIRE SUPPRESSION:</b>			
FIRE SPRINKLER	1.16%	\$ 4,573	\$ 1.85 /SF
<b>22.00.00 - PLUMBING:</b>			
PLUMBING	0.14%	\$ 550	\$ 0.22 /SF
<b>23.00.00 - HEATING, VENTILATING &amp; AIR-CONDITIONING</b>			
HVAC	25.96%	\$ 102,700	\$ 41.55 /SF
<b>26.00.00 - ELECTRICAL:</b>			
ELECTRICAL	14.44%	\$ 57,103	\$ 23.10 /SF
FIRE ALARM	1.41%	\$ 5,562	\$ 2.25 /SF
<b>27.00.00 - LOW VOLTAGE:</b>			
TELEDATA	3.05%	\$ 12,068	\$ 4.88 /SF
SECURITY & ACCESS CONTROL	1.26%	\$ 5,000	\$ 2.02 /SF
AUDIO-VISUAL		\$ -	\$ -
<b>31.00.00 - EARTHWORK:</b>			
EARTHWORK		\$ -	\$ -
<b>32.00.00 - EXTERIOR IMPROVEMENTS:</b>			
PAVEMENT MARKINGS		\$ -	\$ -
SITE CONCRETE		\$ -	\$ -
LANDSCAPING / IRRIGATION		\$ -	\$ -
<b>33.00.00 - UTILITIES:</b>			
SITE UTILITIES		\$ -	\$ -
<b>SUBTOTAL:</b>		<b>\$ 395,537</b>	<b>\$ 160.01 /SF</b>
BUILDER'S RISK INSURANCE:	0.10%	\$ 502	\$ 0.20 /SF
GENERAL LIABILITY INSURANCE:	0.65%	\$ 3,394	\$ 1.37 /SF
GENERAL CONTRACTOR BOND:	0.56%	\$ 2,950	\$ 1.19 /SF
PROJECT ESCALATION:	7.47%	\$ 30,100	\$ 12.18 /SF
DRAWING DEV. CONTINGENCY:	15.00%	\$ 64,872	\$ 26.24 /SF
GENERAL CONTRACTOR FEE:	5.00%	\$ 24,868	\$ 10.06 /SF
<b>TOTAL:</b>		<b>\$ 522,222</b>	<b>\$ 211.26 /SF</b>



Estimate dated: May 5, 2020

Description		Estimate	Price per SF
<b>01.00.00 - GENERAL REQUIREMENTS:</b>			
GENERAL CONDITIONS	8.08%	\$ 467,127	\$ 15.91 /SF
<b>03.00.00 - CONCRETE:</b>			
CIP AND TILT-UP CONCRETE & REBAR	19.93%	\$ 1,152,959	\$ 39.26 /SF
<b>04.00.00 - MASONRY:</b>			
UNIT MASONRY		\$ -	\$ -
<b>05.00.00 - METALS:</b>			
STRUCTURAL STEEL / MISC. METALS / METAL C	7.55%	\$ 436,763	\$ 14.87 /SF
<b>06.00.00 - WOOD, PLASTICS &amp; COMPOSITES:</b>			
ROUGH CARPENTRY	0.06%	\$ 3,507	\$ 0.12 /SF
MILLWORK & TRIM	0.17%	\$ 9,600	\$ 0.33 /SF
<b>07.00.00 - THERMAL &amp; MOISTURE PROTECTION:</b>			
BUILDING INSULATION	0.71%	\$ 41,147	\$ 1.40 /SF
ROOFING	4.67%	\$ 270,149	\$ 9.20 /SF
EXPANSION JOINT ASSEMBLIES		\$ -	\$ -
SIDING	1.80%	\$ 103,932	\$ 3.54 /SF
<b>08.00.00 - OPENINGS:</b>			
DOORS, FRAMES & HW	0.34%	\$ 19,650	\$ 0.67 /SF
OVERHEAD COILING DOORS	0.05%	\$ 3,000	\$ 0.10 /SF
GLASS & GLAZING		\$ -	\$ -
<b>09.00.00 - FINISHES:</b>			
FRAMING, DRYWALL, GFRG & FRP	0.66%	\$ 38,056	\$ 1.30 /SF
GRID CEILING SYSTEMS	0.24%	\$ 13,610	\$ 0.46 /SF
CERAMIC TILE	0.16%	\$ 9,063	\$ 0.31 /SF
RESILIENT FLOORING & CARPET	0.29%	\$ 17,003	\$ 0.58 /SF
ATHLETIC FLOORING		\$ -	\$ -
PAINT	0.32%	\$ 18,619	\$ 0.63 /SF
<b>10.00.00 - SPECIALTIES:</b>			
TOILET PARTITIONS		\$ -	\$ -
TOILET ACCESSORIES	0.03%	\$ 1,964	\$ 0.07 /SF
FIRE PROTECTION SPECIALTIES	0.03%	\$ 1,733	\$ 0.06 /SF
SIGNAGE / IDENTIFICATION DEVICES	0.01%	\$ 750	\$ 0.03 /SF
UNIT LOCKERS	0.12%	\$ 6,875	\$ 0.23 /SF
OPERABLE PARTITIONS		\$ -	\$ -
<b>11.00.00 - EQUIPMENT:</b>			
FOOD SERVICE EQUIPMENT		\$ -	\$ -
SHOOTING RANGE EQUIPMENT	21.94%	\$ 1,269,000	\$ 43.21 /SF
RESIDENTIAL APPLIANCES		\$ -	\$ -
THEATRICAL EQUIPMENT		\$ -	\$ -
<b>12.00.00 - FURNISHINGS:</b>			
PEMB		\$ -	\$ -
<b>14.00.00 - CONVEYING EQUIPMENT:</b>			
ELEVATORS		\$ -	\$ -
<b>21.00.00 - FIRE SUPPRESSION:</b>			
FIRE SPRINKLER	2.11%	\$ 121,881	\$ 4.15 /SF
<b>22.00.00 - PLUMBING:</b>			
PLUMBING	3.42%	\$ 197,971	\$ 6.74 /SF
<b>23.00.00 - HEATING, VENTILATING &amp; AIR-CONDITIONING</b>			
HVAC	1.07%	\$ 61,700	\$ 2.10 /SF
<b>26.00.00 - ELECTRICAL:</b>			
ELECTRICAL	7.25%	\$ 419,213	\$ 14.27 /SF
FIRE ALARM	1.14%	\$ 66,080	\$ 2.25 /SF
<b>27.00.00 - LOW VOLTAGE:</b>			
TELEDATA	2.49%	\$ 144,234	\$ 4.91 /SF
SECURITY & ACCESS CONTROL	0.47%	\$ 27,400	\$ 0.93 /SF
AUDIO-VISUAL		\$ -	\$ -
<b>31.00.00 - EARTHWORK:</b>			
EARTHWORK	6.24%	\$ 361,048	\$ 12.29 /SF
<b>32.00.00 - EXTERIOR IMPROVEMENTS:</b>			
PAVEMENT MARKINGS	0.10%	\$ 5,500	\$ 0.19 /SF
SITE CONCRETE	1.91%	\$ 110,653	\$ 3.77 /SF
LANDSCAPING / IRRIGATION	0.13%	\$ 7,673	\$ 0.26 /SF
<b>33.00.00 - UTILITIES:</b>			
SITE UTILITIES	6.51%	\$ 376,340	\$ 12.81 /SF
<b>SUBTOTAL:</b>		<b>\$ 5,784,199</b>	<b>\$ 196.95 /SF</b>
BUILDER'S RISK INSURANCE:	0.10%	\$ 7,335	\$ 0.25 /SF
GENERAL LIABILITY INSURANCE:	0.65%	\$ 49,633	\$ 1.69 /SF
GENERAL CONTRACTOR BOND:	0.56%	\$ 43,142	\$ 1.47 /SF
PROJECT ESCALATION:	7.47%	\$ 439,400	\$ 14.96 /SF
DRAWING DEV. CONTINGENCY:	15.00%	\$ 948,557	\$ 32.30 /SF
GENERAL CONTRACTOR FEE:	5.00%	\$ 363,613	\$ 12.38 /SF
<b>TOTAL:</b>		<b>\$ 7,635,880</b>	<b>\$ 260.00 /SF</b>



Estimate dated: May 5, 2020

Description		Estimate	Price per SF
<b>01.00.00 - GENERAL REQUIREMENTS:</b>			
GENERAL CONDITIONS	15.28%	\$ 498,269	\$ 11.14 /SF
<b>03.00.00 - CONCRETE:</b>			
CIP AND TILT-UP CONCRETE & REBAR	12.82%	\$ 418,047	\$ 9.35 /SF
<b>04.00.00 - MASONRY:</b>			
UNIT MASONRY	4.04%	\$ 131,760	\$ 2.95 /SF
<b>05.00.00 - METALS:</b>			
STRUCTURAL STEEL / MISC. METALS / METAL C	5.39%	\$ 175,868	\$ 3.93 /SF
<b>06.00.00 - WOOD, PLASTICS &amp; COMPOSITES:</b>			
ROUGH CARPENTRY	17.58%	\$ 573,494	\$ 12.82 /SF
MILLWORK & TRIM	1.76%	\$ 57,450	\$ 1.28 /SF
<b>07.00.00 - THERMAL &amp; MOISTURE PROTECTION:</b>			
BUILDING INSULATION		\$ -	\$ -
ROOFING	2.00%	\$ 65,299	\$ 1.46 /SF
EXPANSION JOINT ASSEMBLIES		\$ -	\$ -
SIDING	1.88%	\$ 61,302	\$ 1.37 /SF
<b>08.00.00 - OPENINGS:</b>			
DOORS, FRAMES & HW	2.34%	\$ 76,256	\$ 1.70 /SF
OVERHEAD COILING DOORS		\$ -	\$ -
GLASS & GLAZING	3.37%	\$ 109,968	\$ 2.46 /SF
<b>09.00.00 - FINISHES:</b>			
FRAMING, DRYWALL, GFRG & FRP	2.61%	\$ 85,034	\$ 1.90 /SF
GRID CEILING SYSTEMS	1.78%	\$ 57,960	\$ 1.30 /SF
CERAMIC TILE		\$ -	\$ -
RESILIENT FLOORING & CARPET		\$ -	\$ -
ATHLETIC FLOORING		\$ -	\$ -
PAINT	1.28%	\$ 41,607	\$ 0.93 /SF
<b>10.00.00 - SPECIALTIES:</b>			
TOILET PARTITIONS	0.07%	\$ 2,120	\$ 0.05 /SF
TOILET ACCESSORIES		\$ -	\$ -
FIRE PROTECTION SPECIALTIES		\$ -	\$ -
SIGNAGE / IDENTIFICATION DEVICES		\$ -	\$ -
UNIT LOCKERS		\$ -	\$ -
OPERABLE PARTITIONS		\$ -	\$ -
<b>11.00.00 - EQUIPMENT:</b>			
FOOD SERVICE EQUIPMENT		\$ -	\$ -
SHOOTING RANGE EQUIPMENT		\$ -	\$ -
RESIDENTIAL APPLIANCES		\$ -	\$ -
THEATRICAL EQUIPMENT		\$ -	\$ -
<b>12.00.00 - FURNISHINGS:</b>			
PEMB		\$ -	\$ -
<b>14.00.00 - CONVEYING EQUIPMENT:</b>			
ELEVATORS		\$ -	\$ -
<b>21.00.00 - FIRE SUPPRESSION:</b>			
FIRE SPRINKLER		\$ -	\$ -
<b>22.00.00 - PLUMBING:</b>			
PLUMBING	0.14%	\$ 4,450	\$ 0.10 /SF
<b>23.00.00 - HEATING, VENTILATING &amp; AIR-CONDITIONING</b>			
HVAC		\$ -	\$ -
<b>26.00.00 - ELECTRICAL:</b>			
ELECTRICAL	4.46%	\$ 145,409	\$ 3.25 /SF
FIRE ALARM		\$ -	\$ -
<b>27.00.00 - LOW VOLTAGE:</b>			
TELEDATA		\$ -	\$ -
SECURITY & ACCESS CONTROL		\$ -	\$ -
AUDIO-VISUAL		\$ -	\$ -
<b>31.00.00 - EARTHWORK:</b>			
EARTHWORK	4.29%	\$ 140,017	\$ 3.13 /SF
<b>32.00.00 - EXTERIOR IMPROVEMENTS:</b>			
PAVEMENT MARKINGS	0.55%	\$ 18,075	\$ 0.40 /SF
SITE CONCRETE	14.82%	\$ 483,213	\$ 10.80 /SF
LANDSCAPING / IRRIGATION		\$ -	\$ -
<b>33.00.00 - UTILITIES:</b>			
SITE UTILITIES	3.55%	\$ 115,900	\$ 2.59 /SF
<b>SUBTOTAL:</b>		<b>\$ 3,261,498</b>	<b>\$ 72.91 /SF</b>
BUILDER'S RISK INSURANCE:	0.10%	\$ 4,136	\$ 0.09 /SF
GENERAL LIABILITY INSURANCE:	0.65%	\$ 27,986	\$ 0.63 /SF
GENERAL CONTRACTOR BOND:	0.56%	\$ 24,326	\$ 0.54 /SF
PROJECT ESCALATION:	7.47%	\$ 247,800	\$ 5.54 /SF
DRAWING DEV. CONTINGENCY:	15.00%	\$ 534,862	\$ 11.96 /SF
GENERAL CONTRACTOR FEE:	5.00%	\$ 205,030	\$ 4.58 /SF
<b>TOTAL:</b>		<b>\$ 4,305,639</b>	<b>\$ 96.25 /SF</b>



Estimate dated: May 5, 2020

Description		Estimate	Price per SF
<b>01.00.00 - GENERAL REQUIREMENTS:</b>			
GENERAL CONDITIONS	3.09%	\$ 249,134	\$ 25.34 /SF
<b>03.00.00 - CONCRETE:</b>			
CIP AND TILT-UP CONCRETE & REBAR		\$ -	\$ -
<b>04.00.00 - MASONRY:</b>			
UNIT MASONRY		\$ -	\$ -
<b>05.00.00 - METALS:</b>			
STRUCTURAL STEEL / MISC. METALS / METAL C		\$ -	\$ -
<b>06.00.00 - WOOD, PLASTICS &amp; COMPOSITES:</b>			
ROUGH CARPENTRY		\$ -	\$ -
MILLWORK & TRIM		\$ -	\$ -
<b>07.00.00 - THERMAL &amp; MOISTURE PROTECTION:</b>			
BUILDING INSULATION		\$ -	\$ -
ROOFING		\$ -	\$ -
EXPANSION JOINT ASSEMBLIES		\$ -	\$ -
SIDING		\$ -	\$ -
<b>08.00.00 - OPENINGS:</b>			
DOORS, FRAMES & HW		\$ -	\$ -
OVERHEAD COILING DOORS		\$ -	\$ -
GLASS & GLAZING		\$ -	\$ -
<b>09.00.00 - FINISHES:</b>			
FRAMING, DRYWALL, GFRG & FRP		\$ -	\$ -
GRID CEILING SYSTEMS		\$ -	\$ -
CERAMIC TILE		\$ -	\$ -
RESILIENT FLOORING & CARPET		\$ -	\$ -
ATHLETIC FLOORING		\$ -	\$ -
PAINT		\$ -	\$ -
<b>10.00.00 - SPECIALTIES:</b>			
TOILET PARTITIONS		\$ -	\$ -
TOILET ACCESSORIES		\$ -	\$ -
FIRE PROTECTION SPECIALTIES		\$ -	\$ -
SIGNAGE / IDENTIFICATION DEVICES		\$ -	\$ -
UNIT LOCKERS		\$ -	\$ -
OPERABLE PARTITIONS		\$ -	\$ -
<b>11.00.00 - EQUIPMENT:</b>			
FOOD SERVICE EQUIPMENT		\$ -	\$ -
SHOOTING RANGE EQUIPMENT		\$ -	\$ -
RESIDENTIAL APPLIANCES		\$ -	\$ -
THEATRICAL EQUIPMENT		\$ -	\$ -
<b>12.00.00 - FURNISHINGS:</b>			
PEMB	13.87%	\$ 1,119,800	\$ 113.92 /SF
<b>14.00.00 - CONVEYING EQUIPMENT:</b>			
ELEVATORS		\$ -	\$ -
<b>21.00.00 - FIRE SUPPRESSION:</b>			
FIRE SPRINKLER		\$ -	\$ -
<b>22.00.00 - PLUMBING:</b>			
PLUMBING		\$ -	\$ -
<b>23.00.00 - HEATING, VENTILATING &amp; AIR-CONDITIONING</b>			
HVAC		\$ -	\$ -
<b>26.00.00 - ELECTRICAL:</b>			
ELECTRICAL		\$ -	\$ -
FIRE ALARM		\$ -	\$ -
<b>27.00.00 - LOW VOLTAGE:</b>			
TELEDATA		\$ -	\$ -
SECURITY & ACCESS CONTROL		\$ -	\$ -
AUDIO-VISUAL		\$ -	\$ -
<b>31.00.00 - EARTHWORK:</b>			
EARTHWORK	49.28%	\$ 3,979,711	\$ 404.85 /SF
<b>32.00.00 - EXTERIOR IMPROVEMENTS:</b>			
PAVEMENT MARKINGS	0.09%	\$ 7,600	\$ 0.77 /SF
SITE CONCRETE	28.57%	\$ 2,306,667	\$ 234.66 /SF
LANDSCAPING / IRRIGATION	4.16%	\$ 336,000	\$ 34.18 /SF
<b>33.00.00 - UTILITIES:</b>			
SITE UTILITIES	0.94%	\$ 76,000	\$ 7.73 /SF
<b>SUBTOTAL:</b>		<b>\$ 8,074,912</b>	<b>\$ 821.46 /SF</b>
BUILDER'S RISK INSURANCE:	0.10%	\$ 10,241	\$ 1.04 /SF
GENERAL LIABILITY INSURANCE:	0.65%	\$ 69,290	\$ 7.05 /SF
GENERAL CONTRACTOR BOND:	0.56%	\$ 60,227	\$ 6.13 /SF
PROJECT ESCALATION:	7.47%	\$ 613,400	\$ 62.40 /SF
DRAWING DEV. CONTINGENCY:	15.00%	\$ 1,324,210	\$ 134.71 /SF
GENERAL CONTRACTOR FEE:	5.00%	\$ 507,614	\$ 51.64 /SF
<b>TOTAL:</b>		<b>\$ 10,659,894</b>	<b>\$ 1,084.42 /SF</b>



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces</b>					
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					
Include Full-time Supervision, Project Engineering & Project Management. Include Jobsite Trailer. Include Temporary Facilities. Include Dumpsters and Temporary Fencing. Include Jobsite Safety Provisions and Surveys. Include Forklift and Major Equipment.	15	WKS	\$ 14,384.21	\$ 217,993	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					\$ 217,993
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					
Include Rebar for Linear Footings	200	LF	\$ 4.00	\$ 800	
Purchase & Place Concrete - Linear Footings	28	CY	\$ 160.00	\$ 4,444	
Include Rebar for New Stem Walls	600	SF	\$ 2.45	\$ 1,470	
Purchase & Place Concrete - Stem Walls	16	CY	\$ 654.00	\$ 10,359	
Include Rebar and Concrete Labor for Spread Footings	8	EA	\$ 800.00	\$ 6,400	
Include Concrete for Spread Footings	8	EA	\$ 490.67	\$ 3,925	
Include Concrete Slab on Grade	8,924	SF	\$ 5.25	\$ 46,851	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					\$ 74,250
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 04.01.00 - UNIT MASONRY</b>					
Include Exterior Brick - Exterior Finishes (allowance)	3,000	SF	\$ 22.00	\$ 66,000	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 04.01.00 - UNIT MASONRY</b>					\$ 66,000
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					
Include Structural Steel and Erection	8,924	SF	\$ 8.35	\$ 74,515	
Furnish and Erect Metal Joist and Deck	8,924	SF	\$ 8.15	\$ 72,731	
Include Connections, Embeds and Plates	1	TONS	\$ 3,050.00	\$ 3,248	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					\$ 150,494
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					
Include In-wall Wood Blocking for Cabinetry, Specialties, Glazing, and Parapet	650	LF	\$ 4.61	\$ 2,997	
Include Treated Plywood - Tele Data Room	120	SF	\$ 4.25	\$ 510	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					\$ 3,507
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					
Include Plam Cabinetry Uppers	25	LF	\$ 290.00	\$ 7,250	
Include Plam Cabinet Loweres includes plam countertop	95	LF	\$ 480.00	\$ 45,600	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					\$ 52,850
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 07.02.00 - BUILDING INSULATION</b>					
Furnish & Install Rigid Insulation - Foundation and Metal Stud Walls	3,000	SF	\$ 2.66	\$ 7,980	
Include Acoustical Batt Insulation integral to Interior Partitions.	11,400	SF	\$ 1.25	\$ 14,250	
Furnish & Install Thermal Batt Insulation - Exterior Walls.	3,000	SF	\$ 2.80	\$ 8,400	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 07.02.00 - BUILDING INSULATION</b>					\$ 30,630
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 07.03.00 - ROOFING</b>					
Include TPO Membrane System. Include Tapered Rigid Insulation. Include Protection Board. Include Walkpads. Include Roofing at Reverse-side of Parapet Walls. Include Integral Flashings, Reglets & Scuppers.	8,924	SF	\$ 8.90	\$ 79,424	
Include Roofing Parapet Cap	200	LF	\$ 12.45	\$ 2,490	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 07.03.00 - ROOFING</b>					\$ 81,914
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 07.04.00 - EXPANSION JOINT ASSEMBLIES</b>					
Include New Expansion Covers Interior and Exterior	1	ALLOW	\$ 5,000.00	\$ 5,000	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 07.04.00 - EXPANSION JOINT ASSEMBLIES</b>					\$ 5,000
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					
Furnish & Install Door Hardware Sets.	36	SETS	\$ 840.00	\$ 30,240	
Furnish WD Panel Doors	36	LEAF	\$ 603.75	\$ 21,735	



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
Furnish HM Door Frames	36	EA	\$ 420.00	\$ 15,120	
Install (Swing) HM & WD Door Panels.	36	LEAF	\$ 250.00	\$ 9,000	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					\$ 76,095
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 08.02.00 - OVERHEAD COILING DOORS</b>					
Motorized Overhead Coiling Steel Door - Reception	24	SF	\$ 65.00	\$ 1,560	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 08.02.00 - OVERHEAD COILING DOORS</b>					\$ 1,560
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 08.03.00 - GLASS &amp; GLAZING</b>					
Aluminum Storefront Double Pane	764	SF	\$ 65.00	\$ 49,660	
Include Storefront Doors	8	EA	\$ 2,700.00	\$ 21,600	
Skylights	16	SF	\$ 85.50	\$ 1,368	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 08.03.00 - GLASS &amp; GLAZING</b>					\$ 72,628
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					
Construct Interior Gyp. Board Partitions - Non-rated.	11,400	SF	\$ 6.75	\$ 76,950	
Include Framing, Sheathing and Gyp Board- Exterior Walls.	3,000	SF	\$ 8.75	\$ 26,250	
Furnish and Install Gyp Board at Restroom and Custodial Area	270	SF	\$ 6.20	\$ 1,674	
Install HM Door Frames	39	EA	\$ 175.00	\$ 6,825	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					\$ 111,699
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					
Furnish New Grid and Ceiling Tiles	8,850	SF	\$ 4.60	\$ 40,710	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					\$ 40,710
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.05.00 - CERAMIC TILE</b>					
Include Floor Tile in Restrooms	27	SF	\$ 11.00	\$ 297	
Include Wall Tile in Restrooms	570	SF	\$ 18.00	\$ 10,260	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.05.00 - CERAMIC TILE</b>					\$ 10,557
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					
Furnish & Install Carpet Flooring	983	SY	\$ 50.40	\$ 49,560	
Furnish & Install Resilient Base	1,900	LF	\$ 2.55	\$ 4,845	
Include Flooring Transitions	1	Lot	\$ 500.00	\$ 500	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					\$ 54,905
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.08.00 - PAINT</b>					
Include Paint Interior and Exterior Walls	25,800	SF	\$ 1.80	\$ 46,440	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.08.00 - PAINT</b>					\$ 46,440
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 10.03.00 - TOILET PARTITIONS</b>					
Furnish and Install Toilet Partitions	3	STALL	\$ 900.00	\$ 2,700	
Furnish and Install Urinal Screens	1	STALL	\$ 320.00	\$ 320	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 10.03.00 - TOILET PARTITIONS</b>					\$ 3,020
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 10.04.00 - TOILET ACCESSORIES</b>					
Furnish & Install Hand Dryers with Recess Kits.	2	EA	\$ 512.00	\$ 1,024	
Furnish & Install Toilet Tissue Dispensers.	3	EA	\$ 75.00	\$ 225	
Furnish & Install Grab Bars.	6	EA	\$ 90.00	\$ 540	
Furnish & Install Framed Mirrors	2	EA	\$ 125.00	\$ 250	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 10.04.00 - TOILET ACCESSORIES</b>					\$ 2,039
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					
Furnish & Install Rated Fire Extinguisher Cabinets. Include Decals.	3	EA	\$ 247.50	\$ 743	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					\$ 743
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
Furnish & Install Panel Signs. Signs shall be ADA Compliant. Include Room Identification Signage.	39	LOC	\$ 75.00	\$ 2,925	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					\$ 2,925
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 21.00.00 - FIRE SPRINKLER</b>					
New Fire Sprinkler System	8,924	SF	\$ 4.15	\$ 37,035	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 21.00.00 - FIRE SPRINKLER</b>					\$ 37,035
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 22.00.00 - PLUMBING</b>					
Plumbing rough-in, Water, Sub Rough, and Roof Drains	8,924	SF	\$ 5.10	\$ 45,512	
Wall Mounted Lavatory	4	EA	\$ 1,450.00	\$ 5,800	
Hose Bibs	1	EA	\$ 970.00	\$ 970	
Fixture Allowance	4	EA	\$ 435.00	\$ 1,740	
Drinking Fountains	1	EA	\$ 1,850.00	\$ 1,850	
Floor Drains	2	EA	\$ 450.00	\$ 900	
Toilet	3	EA	\$ 1,650.00	\$ 4,950	
Urinals	1	EA	\$ 1,070.00	\$ 1,070	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 22.00.00 - PLUMBING</b>					\$ 62,792
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 23.00.00 - HVAC</b>					
Include New HVAC Equipment	8,924	SF	\$ 24.00	\$ 214,176	
Include VAV Boxes	6	EA	\$ 1,700.00	\$ 10,200	
Include Bath Exhaust Fans	1	EA	\$ 450.00	\$ 450	
Include All New Ductwork	8,924	SF	\$ 5.75	\$ 51,313	
Include Cleaning Existing Grills and Registers	8,924	SF	\$ .25	\$ 2,231	
Include All New 4 Pipe Copper Lines for HVAC	8,924	SF	\$ 4.80	\$ 42,835	
Include Automatic HVAC Temperature Controls	8,924	SF	\$ 5.12	\$ 45,691	
Test and Balance the Systems	8,924	SF	\$ .25	\$ 2,231	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 23.00.00 - HVAC</b>					\$ 369,127
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 26.01.00 - ELECTRICAL</b>					
Include Indoor LED Lighting Fixtures, Fixture Supports, Lighting Controls and Switches	8,924	SF	\$ 9.10	\$ 81,208	
Power Plan and Branch Circuitry	8,924	SF	\$ 14.00	\$ 124,936	
Exterior Lighting - Wall Mounted	4	EA	\$ 650.00	\$ 2,600	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 26.01.00 - ELECTRICAL</b>					\$ 208,744
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 26.02.00 - FIRE ALARM</b>					
Include Fire Alarm Detection and Notification Systems	8,924	SF	\$ 2.25	\$ 20,079	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 26.02.00 - FIRE ALARM</b>					\$ 20,079
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 27.01.00 - TELEDATA</b>					
Include VOIP Phones	39	EA	\$ 450.00	\$ 17,550	
Network Switches	1	EA	\$ 3,500.00	\$ 3,500	
Structured Cabling with Network Outlets/ Server Racks and Equipment	8,924	SF	\$ 3.50	\$ 31,234	
Include Paging System	8,924	SF	\$ 1.20	\$ 10,709	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 27.01.00 - TELEDATA</b>					\$ 62,993
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					
Include Security / Access Control System	1	EA	\$ 2,000.00	\$ 2,000	
Include Card Readers.	3	EA	\$ 2,500.00	\$ 7,500	
Include CCTV System	2	EA	\$ 2,500.00	\$ 5,000	
Include Security Door Contacts	3	EA	\$ 200.00	\$ 600	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					\$ 15,100
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 27.03.00 - AUDIO-VISUAL</b>					
Furnish & Install Conference Room AV Equipment	1	EA	\$ 5,000.00	\$ 5,000	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 27.03.00 - AUDIO-VISUAL</b>					\$ 5,000
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 31.02.00 - EARTHWORK</b>					
Excavate Building Footprint and Construct Building Pad using Select Structural Fill (Assumed to be on-site). Excavate to allow for a 48" layer of select fill with a 5'-0" off-set. Include Proof-roll, scarify, compact, and install select fill (10-20 PI) in 9" lifts compacted to 95%.	8,924	SF	\$ 3.13	\$ 27,932	
Include Helical Piers	1	LS	\$ 96,000.00	\$ 96,000	
Build Portion of Retention Area	33,000	SF	\$ 1.25	\$ 41,250	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 31.02.00 - EARTHWORK</b>					\$ 165,182



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 32.06.00 - LANDSCAPING / IRRIGATION</b>					
Include Automatic Irrigation System.	18,568	SF	\$ .58	\$ 10,769	
Include Dry Scape Areas with Weed Prevention	17,634	SF	\$ 2.65	\$ 46,730	
Sod Grass Areas	932	SF	\$ .82	\$ 764	
Include Plantings - 3 gallon	38	EA	\$ 25.00	\$ 955	
Include Bed Mix.	2	CY	\$ 26.45	\$ 40	
Furnish & Install 15-gallon Trees.	25	EA	\$ 540.00	\$ 13,500	
Include Plantings - Grasses	15	EA	\$ 25.00	\$ 375	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 32.06.00 - LANDSCAPING / IRRIGATION</b>					\$ 73,134
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					
Include Pavement Striping. Layout and Stripe Parking Areas.	1	LS	\$ 5,000.00	\$ 5,000	
Include Handicap Signs on 2" diameter Aluminum Posts.	6	EA	\$ 205.00	\$ 1,230	
Include Pavement Markings. Include Handicap Stencils on 4'-0" x 4'-0" Blue Background. Include Arrows, control Lines in Drives.	6	EA	\$ 45.00	\$ 270	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					\$ 6,500
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 32.03.00 - SITE CONCRETE</b>					
Construct Site Concrete/Sidewalk 4"	2,112	SF	\$ 5.53	\$ 11,679	
Construct Site Concrete/6" curb w 24" gutter	450	LF	\$ 19.20	\$ 8,640	
Construct New Parking	33,700	SF	\$ 6.33	\$ 213,433	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 32.03.00 - SITE CONCRETE</b>					\$ 233,753
<b>Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 33.00.00 - SITE UTILITIES</b>					
Include Water Lines	300	LF	\$ 35.00	\$ 10,500	
Include Sewer Lines	300	EA	\$ 45.00	\$ 13,500	
Include Underground Storm Drain	485	LF	\$ 85.00	\$ 41,225	
Include Storm Drain Boxes and Inlets	4	EA	\$ 6,500.00	\$ 26,000	
Include Fire Hydrant	1	EA	\$ 8,500.00	\$ 8,500	
<b>SUBTOTAL - Area 09 - New Administration/Instructor/Staff Offices and Support Spaces - DIVISION 33.00.00 - SITE UTILITIES</b>					\$ 99,725
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities</b>					
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					
Include Full-time Supervision, Project Engineering & Project Management. Include Jobsite Trailer. Include Temporary Facilities. Include Dumpsters and Temporary Fencing. Include Jobsite Safety Provisions and Surveys. Include Forklift and Major Equipment.	37	WKS	\$ 14,384.21	\$ 529,411	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					\$ 529,411
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					
Include Rebar and Concrete Labor for Spread Footings	22	EA	\$ 800.00	\$ 17,600	
Include Concrete for Spread Footings	22	EA	\$ 693.33	\$ 15,253	
Include Concrete Slab on Grade	27,343	SF	\$ 5.25	\$ 143,551	
Include Rebar for Linear Footings - Conference Center Retaining	830	LF	\$ 6.00	\$ 4,980	
Purchase & Place Concrete - Linear Footings New Dorm Retaining	830	LF	\$ 80.00	\$ 66,400	
Include Rebar for Foundations	2,490	SF	\$ 3.45	\$ 8,591	
Purchase & Place Concrete - Foundations	100	CY	\$ 340.70	\$ 33,934	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					\$ 290,308
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 04.01.00 - UNIT MASONRY</b>					
Include Brick	16,710	SF	\$ 22.00	\$ 367,620	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 04.01.00 - UNIT MASONRY</b>					\$ 367,620
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					
Include Structural Steel	27,343	SF	\$ 8.35	\$ 228,314	
Furnish and Erect Metal Joist and Deck	27,343	SF	\$ 8.15	\$ 222,845	
Include Connections, Embeds and Plates	2	TONS	\$ 3,050.00	\$ 5,948	



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					\$ 457,107
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					
Include In-wall Wood Blocking for Cabinetry, Specialties, Glazing, and Parapet	3,500	LF	\$ 4.61	\$ 16,135	
Include Treated Plywood - MEP	120	SF	\$ 4.25	\$ 510	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					\$ 16,645
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					
Include Teacher Cabinets	15	LF	\$ 750.00	\$ 11,250	
Include Plam Cabinetry Uppers	100	LF	\$ 290.00	\$ 29,000	
Include Plam Cabinet Lowers includes plam countertop	151	LF	\$ 480.00	\$ 72,480	
Include Plam Cabinetry Uppers	35	LF	\$ 290.00	\$ 10,150	
Include Plam Cabinet Lowers includes plam countertop	35	LF	\$ 480.00	\$ 16,800	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					\$ 139,680
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 07.02.00 - BUILDING INSULATION</b>					
Include Acoustical Batt Insulation integral to Interior Partitions.	19,416	SF	\$ 1.25	\$ 24,270	
Furnish & Install Rigid Insulation - Foundation, and Metal Stud Walls	18,000	SF	\$ 2.66	\$ 47,880	
Include Acoustical Batt Insulation integral to Interior Partitions.	7,440	SF	\$ 1.25	\$ 9,300	
Furnish & Install Thermal Batt Insulation - Exterior Walls.	15,510	SF	\$ 2.80	\$ 43,428	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 07.02.00 - BUILDING INSULATION</b>					\$ 124,878
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 07.03.00 - ROOFING</b>					
Include TPO Membrane System. Include Tapered Rigid Insulation. Include Protection Board. Include Walkpads. Include Roofing at Reverse-side of Parapet Walls. Include Integral Flashings, Reglets & Scuppers.	27,343	SF	\$ 6.13	\$ 167,476	
Include Roofing Parapet Cap	830	LF	\$ 12.45	\$ 10,334	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 07.03.00 - ROOFING</b>					\$ 177,809
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 07.04.00 - EXPANSION JOINT ASSEMBLIES</b>					
Include New Expansion Covers Interior and Exterior	1	ALLOW	\$ 5,000.00	\$ 5,000	
Include New Expansion Covers Interior and Exterior	1	ALLOW	\$ 14,250.00	\$ 14,250	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 07.04.00 - EXPANSION JOINT ASSEMBLIES</b>					\$ 19,250
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					
Furnish & Install Door Hardware Sets.	32	SETS	\$ 840.00	\$ 26,880	
Furnish WD Panel Doors	32	LEAF	\$ 603.75	\$ 19,320	
Furnish HM Door Frames	32	EA	\$ 420.00	\$ 13,440	
Install (Swing) HM & WD Door Panels.	32	LEAF	\$ 250.00	\$ 8,000	
Furnish and Install HM Doors	2	LEAF	\$ 455.00	\$ 910	
Furnish & Install Door Hardware Sets.	20	SETS	\$ 840.00	\$ 16,800	
Furnish WD Panel Doors	20	LEAF	\$ 603.75	\$ 12,075	
Furnish HM Door Frames	20	EA	\$ 420.00	\$ 8,400	
Install (Swing) HM & WD Door Panels.	20	LEAF	\$ 250.00	\$ 5,000	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					\$ 110,825
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 08.02.00 - OVERHEAD COILING DOORS</b>					
Motorized Overhead Sectional Door - high lift with jack shaft motor	1	EA	\$ 3,200.00	\$ 3,200	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 08.02.00 - OVERHEAD COILING DOORS</b>					\$ 3,200
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 08.03.00 - GLASS &amp; GLAZING</b>					
Aluminum Storefront Interior Glazing	192	SF	\$ 45.00	\$ 8,640	
Aluminum Storefront Double Pane Conference Center	3,320	SF	\$ 65.00	\$ 215,800	
Aluminum Storefront Doors	24	EA	\$ 2,800.00	\$ 67,200	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 08.03.00 - GLASS &amp; GLAZING</b>					\$ 291,640
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					
Construct Interior Gyp. Board Partitions - Non-rated.	19,416	SF	\$ 6.75	\$ 131,058	
Include Framing, Sheathing and Gyp Board- Exterior Walls.	855	SF	\$ 8.75	\$ 7,481	
Furnish and Install Gyp Board at Restroom and Custodial Area	382	SF	\$ 6.20	\$ 2,368	
Install HM Door Frames	34	EA	\$ 175.00	\$ 5,950	
Construct Interior Gyp. Board Partitions - Non-rated.	7,440	SF	\$ 6.75	\$ 50,220	
Include Framing, Sheathing and Gyp Board- Exterior Walls.	7,800	SF	\$ 8.75	\$ 68,250	
Furnish and Install Gyp Board at Restroom and Custodial Area	610	SF	\$ 6.20	\$ 3,782	



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
Install HM Door Frames	20	EA	\$ 175.00	\$ 3,500	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					\$ 272,610
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					
Furnish New Grid and Ceiling Tiles Conference and Classrooms	26,351	SF	\$ 4.60	\$ 121,215	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					\$ 121,215
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.05.00 - CERAMIC TILE</b>					
Include Floor Tile in Restrooms	380	SF	\$ 11.00	\$ 4,180	
Include Wall Tile in Restrooms	540	SF	\$ 18.00	\$ 9,720	
Include Floor Tile in Restrooms	610	SF	\$ 11.00	\$ 6,710	
Include Wall Tile in Restrooms	1,080	SF	\$ 18.00	\$ 19,440	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.05.00 - CERAMIC TILE</b>					\$ 40,050
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					
Furnish & Install Carpet Flooring	2,677	SY	\$ 50.40	\$ 134,932	
Furnish & Install Resilient Base	3,236	LF	\$ 2.55	\$ 8,252	
Furnish & Install LVT	2,256	SF	\$ 7.85	\$ 17,710	
Include Flooring Transitions	1	Lot	\$ 500.00	\$ 500	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					\$ 161,393
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.08.00 - PAINT</b>					
Include Paint Interior and Exterior Walls	39,687	SF	\$ 1.80	\$ 71,437	
Include Paint Interior and Exterior Walls	22,680	SF	\$ 1.80	\$ 40,824	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.08.00 - PAINT</b>					\$ 112,261
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.03.00 - TOILET PARTITIONS</b>					
Furnish and Install Toilet Partitions	3	STALL	\$ 900.00	\$ 2,700	
Furnish and Install Urinal Screens	1	STALL	\$ 320.00	\$ 320	
Furnish and Install Toilet Partitions	6	STALL	\$ 900.00	\$ 5,400	
Furnish and Install Urinal Screens	2	STALL	\$ 320.00	\$ 640	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.03.00 - TOILET PARTITIONS</b>					\$ 9,060
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.04.00 - TOILET ACCESSORIES</b>					
Furnish & Install Hand Dryers with Recess Kits.	2	EA	\$ 512.00	\$ 1,024	
Furnish & Install Toilet Tissue Dispensers.	3	EA	\$ 75.00	\$ 225	
Furnish & Install Grab Bars.	6	EA	\$ 90.00	\$ 540	
Furnish & Install Framed Mirrors	4	EA	\$ 125.00	\$ 500	
Furnish & Install Hand Dryers with Recess Kits.	5	EA	\$ 512.00	\$ 2,560	
Furnish & Install Toilet Tissue Dispensers.	7	EA	\$ 75.00	\$ 525	
Furnish & Install Grab Bars.	9	EA	\$ 90.00	\$ 810	
Furnish & Install Framed Mirrors	5	EA	\$ 125.00	\$ 625	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.04.00 - TOILET ACCESSORIES</b>					\$ 6,809
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					
Furnish & Install Rated Fire Extinguisher Cabinets. Include Decals.	10	EA	\$ 247.50	\$ 2,475	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					\$ 2,475
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					
Furnish & Install Panel Signs. Signs shall be ADA Compliant. Include Room Identification Signage.	54	LOC	\$ 75.00	\$ 4,050	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					\$ 4,050
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.12.00 - OPERABLE PARTITIONS</b>					
Operable Walls for Conference Center	2,000	SF	\$ 75.00	\$ 150,000	
Classroom Operable Walls	608	SF	\$ 75.00	\$ 45,600	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.12.00 - OPERABLE PARTITIONS</b>					\$ 195,600
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 11.06.00 - RESIDENTIAL APPLIANCES</b>					
Include Refridgerator, Range, Dishwasher, Microwave Allowance Installed	1	ALLOW	\$ 5,000.00	\$ 5,000	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 11.06.00 - RESIDENTIAL APPLIANCES</b>					\$ 5,000
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 11.07.00 - THEATRICAL EQUIPMENT</b>					
Include Seating for Conference Center	600	EA	\$ 525.00	\$ 315,000	



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 11.07.00 - THEATRICAL EQUIPMENT</b>					\$ 315,000
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 21.00.00 - FIRE SPRINKLER</b>					
Include new Fire Sprinkler System with Semi-Recessed Heads	27,343	SF	\$ 4.15	\$ 113,473	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 21.00.00 - FIRE SPRINKLER</b>					\$ 113,473
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 22.00.00 - PLUMBING</b>					
Plumbing rough-in, Water, Sub Rough, and Roof Drains	27,343	SF	\$ 5.10	\$ 139,449	
Wall Mounted Lavatory	4	EA	\$ 1,450.00	\$ 5,800	
Fixture Allowance	4	EA	\$ 435.00	\$ 1,740	
Drinking Fountains	2	EA	\$ 1,850.00	\$ 3,700	
Floor Drains	2	EA	\$ 450.00	\$ 900	
Toilet	3	EA	\$ 1,650.00	\$ 4,950	
Urinals	1	EA	\$ 1,070.00	\$ 1,070	
Plumbing rough-in Including Roof Drains	1	LS	\$ 50,085.00	\$ 50,085	
Wall Mounted Lavatory	5	EA	\$ 1,450.00	\$ 7,250	
Fixture Allowance	5	EA	\$ 435.00	\$ 2,175	
Drinking Fountains	2	EA	\$ 1,850.00	\$ 3,700	
Floor Drains	3	EA	\$ 450.00	\$ 1,350	
Toilet	6	EA	\$ 1,650.00	\$ 9,900	
Urinals	3	EA	\$ 1,070.00	\$ 3,210	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 22.00.00 - PLUMBING</b>					\$ 235,279
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 23.00.00 - HVAC</b>					
Include VAV Boxes	7	EA	\$ 1,700.00	\$ 11,900	
Include Bath Exhaust Fans	2	EA	\$ 450.00	\$ 900	
Include Cleaning Existing Grills and Registers	20,623	SF	\$ .25	\$ 5,156	
Include All New 4 Pipe Copper Lines for HVAC	20,623	SF	\$ 4.80	\$ 98,990	
Include Automatic HVAC Temperature Controls	20,623	SF	\$ 5.12	\$ 105,590	
Test and Balance the Systems	20,623	SF	\$ .25	\$ 5,156	
Include VAV Boxes	6	EA	\$ 1,700.00	\$ 10,200	
Include Bath Exhaust Fans	3	EA	\$ 450.00	\$ 1,350	
Include New Grills and Registers	6,720	SF	\$ 3.85	\$ 25,872	
Include All New 4 Pipe Copper Lines for HVAC Tie into Existing Mech	6,720	SF	\$ 4.80	\$ 32,256	
Include Automatic HVAC Temperature Controls	6,720	SF	\$ 5.12	\$ 34,406	
Test and Balance the Systems	6,720	SF	\$ .25	\$ 1,680	
New Mech Equipment	27,343	SF	\$ 24.00	\$ 656,232	
Extend piping to New Mech Yard	1	Allow	\$ 15,000.00	\$ 15,000	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 23.00.00 - HVAC</b>					\$ 1,004,688
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 26.01.00 - ELECTRICAL</b>					
Include Indoor LED Lighting Fixtures, Fixture Supports, Lighting Controls and Switches	27,343	SF	\$ 9.10	\$ 248,821	
Power Plan and Branch Circuitry	27,343	SF	\$ 14.00	\$ 382,802	
Exterior Lighting - Wall Mounted	4	EA	\$ 650.00	\$ 2,600	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 26.01.00 - ELECTRICAL</b>					\$ 634,223
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 26.02.00 - FIRE ALARM</b>					
Include Fire Alarm Detection and Notification Systems	27,343	SF	\$ 2.25	\$ 61,522	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 26.02.00 - FIRE ALARM</b>					\$ 61,522
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 27.01.00 - TELEDATA</b>					
Include VOIP Phones	52	EA	\$ 450.00	\$ 23,400	
Network Switches	2	EA	\$ 3,500.00	\$ 7,000	
Structured Cabling with Network Outlets/ Server Racks and Equipment	27,343	SF	\$ 3.50	\$ 95,701	
Include Paging System	27,343	SF	\$ 1.20	\$ 32,812	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 27.01.00 - TELEDATA</b>					\$ 158,912
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					
Include Security / Access Control System	2	EA	\$ 2,000.00	\$ 4,000	
Include Card Readers.	8	EA	\$ 2,500.00	\$ 20,000	
Include CCTV System	18	EA	\$ 2,500.00	\$ 45,000	
Include Security Door Contacts	8	EA	\$ 200.00	\$ 1,600	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					\$ 70,600
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 27.03.00 - AUDIO-VISUAL</b>					
Furnish & Install Large and Small Class Room AV Equipment	6	EA	\$ 5,000.00	\$ 30,000	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 27.03.00 - AUDIO-VISUAL</b>					\$ 30,000
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 31.02.00 - EARTHWORK</b>					



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
Excavate Building Footprint and Construct Building Pad using Select Structural Fill (Assumed to be on-site). Excavate to allow for a 48" layer of select fill with a 5'-0" offset. Include Proof-roll, scarify, compact, and install select fill (10-20 PI) in 9" lifts compacted to 95%.	27,343	SF	\$ 3.13	\$ 85,584	
Include Helical Piers	1	LS	\$ 211,200.00	\$ 211,200	
Include Portion of Retention	33,000	SF	\$ 1.25	\$ 41,250	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 31.02.00 - EARTHWORK</b>					\$ 338,034
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 32.06.00 - LANDSCAPING / IRRIGATION</b>					
Include Automatic Irrigation System.	12,000	SF	\$ .58	\$ 6,960	
Include Dry Scape Areas with Weed Prevention	537	SF	\$ 2.65	\$ 1,423	
Sod Grass Areas	12,000	SF	\$ .82	\$ 9,840	
Include Plantings - 3 gallon	15	EA	\$ 25.00	\$ 375	
Include Bed Mix.	2	CY	\$ 26.45	\$ 40	
Furnish & Install 15-gallon Trees.	2	EA	\$ 540.00	\$ 1,080	
Include Plantings - Grasses	6	EA	\$ 25.00	\$ 150	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 32.06.00 - LANDSCAPING / IRRIGATION</b>					\$ 19,868
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					
Include Pavement Striping. Layout and Stripe Parking Areas.	1	LS	\$ 5,000.00	\$ 5,000	
Include Handicap Signs on 2" diameter Aluminum Posts.	6	EA	\$ 205.00	\$ 1,230	
Include Pavement Markings. Include Handicap Stencils on 4'-0" x 4'-0" Blue Background. Include Arrows, control Lines in Drives.	6	EA	\$ 45.00	\$ 270	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					\$ 6,500
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 32.03.00 - SITE CONCRETE</b>					
Construct Site Concrete/Sidewalk 4"	7,479	SF	\$ 5.53	\$ 41,359	
Construct Site Concrete/6" curb w 24" gutter	650	LF	\$ 19.20	\$ 12,480	
Construct New Parking	76,589	SF	\$ 6.33	\$ 485,064	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 32.03.00 - SITE CONCRETE</b>					\$ 538,903
<b>Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 33.00.00 - SITE UTILITIES</b>					
Include Water Lines	60	LF	\$ 35.00	\$ 2,100	
Include Sewer Lines	60	EA	\$ 55.00	\$ 3,300	
Include Underground Storm Drain	450	LF	\$ 85.00	\$ 38,250	
Include Storm Drain Boxes and Inlets	10	EA	\$ 6,500.00	\$ 65,000	
Include Fire Hydrant	1	EA	\$ 8,500.00	\$ 8,500	
<b>SUBTOTAL - Area 10 - New Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 33.00.00 - SITE UTILITIES</b>					\$ 117,150
<b>Area 11 - New LETC Support Facilities</b>					
<b>Area 11 - New LETC Support Facilities - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					
Include Full-time Supervision, Project Engineering & Project Management. Include Jobsite Trailer. Include Temporary Facilities. Include Dumpsters and Temporary Fencing. Include Jobsite Safety Provisions and Surveys. Include Forklift and Major Equipment.	56	WKS	\$ 14,384.21	\$ 809,687	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					\$ 809,687
<b>Area 11 - New LETC Support Facilities - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					
Include Rebar for Linear Footings	1,964	LF	\$ 6.00	\$ 11,784	
Purchase & Place Concrete - Linear Footings Gym Walls	1,964	LF	\$ 80.00	\$ 157,120	
Include Rebar for Foundations	5,892	SF	\$ 3.45	\$ 20,327	
Purchase & Place Concrete - Foundations	236	CY	\$ 336.02	\$ 79,193	
Include Rebar and Concrete Labor for Spread Footings	39	EA	\$ 800.00	\$ 31,424	
Include Concrete for Spread Footings	39	EA	\$ 637.87	\$ 24,877	
Include Concrete Slab on Grade	69,484	SF	\$ 5.25	\$ 364,791	
Slab On Metal Deck	32,791	SF	\$ 5.75	\$ 188,548	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					\$ 878,064
<b>Area 11 - New LETC Support Facilities - DIVISION 04.01.00 - UNIT MASONRY</b>					
Include Exterior Brick for New Dormitories	39,600	SF	\$ 22.00	\$ 871,200	
Include Exterior Brick for Track Walls	19,120	SF	\$ 22.00	\$ 420,640	
Include Exterior Brick for Receiving	2,970	SF	\$ 22.00	\$ 65,340	
Include CMU Block for Track Walls	12,880	SF	\$ 18.00	\$ 231,840	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 04.01.00 - UNIT MASONRY</b>					\$ 1,589,020
<b>Area 11 - New LETC Support Facilities - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
Include Structural Steel	69,484	SF	\$ 8.35	\$ 580,191	
Furnish and Erect Metal Joists and Decking	69,484	SF	\$ 8.18	\$ 568,379	
Include Steel Stairs	1	LS	\$ 88,000.00	\$ 88,000	
Include Connections, Embeds and Plates and Misc Metals	14	TONS	\$ 3,050.00	\$ 43,768	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					\$ 1,280,338
<b>Area 11 - New LETC Support Facilities - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					
Include In-wall Wood Blocking for Cabinetry, Specialties, Glazing, and Parapet	5,100	LF	\$ 4.61	\$ 23,511	
Include Treated Plywood - Elec. Rooms	290	SF	\$ 4.25	\$ 1,233	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					\$ 24,744
<b>Area 11 - New LETC Support Facilities - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					
Include Plam Cabinetry Uppers	15	LF	\$ 290.00	\$ 4,350	
Include Plam Cabinet Lower includes plam countertop	15	LF	\$ 480.00	\$ 7,200	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					\$ 11,550
<b>Area 11 - New LETC Support Facilities - DIVISION 07.02.00 - BUILDING INSULATION</b>					
Include Acoustical Batt Insulation integral to Interior Partitions.	112,176	SF	\$ 1.25	\$ 140,220	
Furnish & Install Rigid Insulation - Foundation and Metal Stud Walls	61,690	SF	\$ 2.66	\$ 164,095	
Furnish & Install Thermal Batt Insulation - Exterior Walls.	42,570	SF	\$ 2.80	\$ 119,196	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 07.02.00 - BUILDING INSULATION</b>					\$ 423,511
<b>Area 11 - New LETC Support Facilities - DIVISION 07.03.00 - ROOFING</b>					
Include TPO Membrane System. Include Tapered Rigid Insulation. Include Protection Board. Include Walkpads. Include Roofing at Reverse-side of Parapet Walls. Include Integral Flashings, Reglets & Scuppers.	69,484	SF	\$ 8.90	\$ 618,408	
Include Roofing Parapet Cap	1,964	LF	\$ 12.45	\$ 24,452	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 07.03.00 - ROOFING</b>					\$ 642,859
<b>Area 11 - New LETC Support Facilities - DIVISION 07.04.00 - EXPANSION JOINT ASSEMBLIES</b>					
Include New Expansion Covers Interior and Exterior	1	ALLOW	\$ 31,587.50	\$ 31,588	
Include New Expansion Covers Interior and Exterior	1	ALLOW	\$ 23,322.50	\$ 23,323	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 07.04.00 - EXPANSION JOINT ASSEMBLIES</b>					\$ 54,910
<b>Area 11 - New LETC Support Facilities - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					
Furnish & Install Door Hardware Sets.	250	SETS	\$ 840.00	\$ 210,000	
Furnish WD Panel Doors	250	LEAF	\$ 603.75	\$ 150,938	
Furnish HM Door Frames	250	EA	\$ 420.00	\$ 105,000	
Install (Swing) HM & WD Door Panels.	250	LEAF	\$ 250.00	\$ 62,500	
Furnish and Install HM Doors	2	LEAF	\$ 455.00	\$ 910	
Furnish & Install Door Hardware Sets.	33	SETS	\$ 840.00	\$ 27,720	
Furnish WD Panel Doors	33	LEAF	\$ 603.75	\$ 19,924	
Furnish HM Door Frames	33	EA	\$ 420.00	\$ 13,860	
Install (Swing) HM & WD Door Panels.	33	LEAF	\$ 250.00	\$ 8,250	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					\$ 599,101
<b>Area 11 - New LETC Support Facilities - DIVISION 08.03.00 - GLASS &amp; GLAZING</b>					
Aluminum Storefront Interior Glazing	192	SF	\$ 45.00	\$ 8,640	
Aluminum Storefront Double Pane	7,856	SF	\$ 65.00	\$ 510,640	
Aluminum Storefront Doors	16	EA	\$ 2,800.00	\$ 44,800	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 08.03.00 - GLASS &amp; GLAZING</b>					\$ 564,080
<b>Area 11 - New LETC Support Facilities - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					
Construct Interior Gyp. Board Partitions - Non-rated.	114,576	SF	\$ 6.75	\$ 773,388	
Include Framing, Sheathing and Gyp Board- Exterior Walls.	24,770	SF	\$ 8.75	\$ 216,738	
Furnish and Install Gyp Board at Dorm Areas, Showers, Bathrooms, Housekp	39,360	SF	\$ 6.20	\$ 244,032	
Install HM Door Frames	283	EA	\$ 175.00	\$ 49,525	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					\$ 1,283,683
<b>Area 11 - New LETC Support Facilities - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					
Furnish New Grid and Ceiling Tiles Corridors, Dining	94,802	SF	\$ 4.60	\$ 436,089	
Furnish New Grid and Vinyl Ceiling Tiles Kitchen	7,472	SF	\$ 7.35	\$ 54,919	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					\$ 491,008
<b>Area 11 - New LETC Support Facilities - DIVISION 09.05.00 - CERAMIC TILE</b>					
Include Floor Tile in Restrooms	1,164	SF	\$ 11.00	\$ 12,804	
Include Wall Tile in Restrooms	1,710	SF	\$ 18.00	\$ 30,780	



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
Include Floor Tile in Showers	1,000	SF	\$ 11.00	\$ 11,000	
Include Wall Tile in Showers	2,150	SF	\$ 18.00	\$ 38,700	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 09.05.00 - CERAMIC TILE</b>					\$ 93,284
<b>Area 11 - New LETC Support Facilities - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					
Furnish & Install Carpet Flooring	7,639	SY	\$ 50.40	\$ 385,006	
Furnish & Install Resilient Base	3,236	LF	\$ 2.55	\$ 8,252	
Furnish & Install Vinyl Flooring	14,238	SF	\$ 3.15	\$ 44,850	
Include Flooring Transitions	1	Lot	\$ 5,500.00	\$ 5,500	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					\$ 443,607
<b>Area 11 - New LETC Support Facilities - DIVISION 09.07.00 - ATHLETIC FLOORING</b>					
Furnish and Install Resilient Athletic Flooring	2,100	SF	\$ 7.20	\$ 15,120	
Furnish and Install Indoor Track Surfacing	7,100	SF	\$ 13.00	\$ 92,300	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 09.07.00 - ATHLETIC FLOORING</b>					\$ 107,420
<b>Area 11 - New LETC Support Facilities - DIVISION 09.08.00 - PAINT</b>					
Include Paint Interior and Exterior Walls along with gyp ceilings	290,582	SF	\$ 1.80	\$ 523,048	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 09.08.00 - PAINT</b>					\$ 523,048
<b>Area 11 - New LETC Support Facilities - DIVISION 10.03.00 - TOILET PARTITIONS</b>					
Furnish and Install Toilet Partitions	9	STALL	\$ 900.00	\$ 8,100	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 10.03.00 - TOILET PARTITIONS</b>					\$ 8,100
<b>Area 11 - New LETC Support Facilities - DIVISION 10.04.00 - TOILET ACCESSORIES</b>					
Furnish & Install Hand Dryers with Recess Kits.	6	EA	\$ 512.00	\$ 3,072	
Furnish & Install Toilet Tissue Dispensers.	6	EA	\$ 75.00	\$ 450	
Furnish & Install Grab Bars.	18	EA	\$ 90.00	\$ 1,620	
Furnish & Install Framed Mirrors	6	EA	\$ 125.00	\$ 750	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 10.04.00 - TOILET ACCESSORIES</b>					\$ 5,892
<b>Area 11 - New LETC Support Facilities - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					
Furnish & Install Rated Fire Extinguisher Cabinets. Include Decals.	34	EA	\$ 247.50	\$ 8,415	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					\$ 8,415
<b>Area 11 - New LETC Support Facilities - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					
Furnish & Install Panel Signs. Signs shall be ADA Compliant. Include Room Identification Signage.	280	LOC	\$ 75.00	\$ 21,000	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					\$ 21,000
<b>Area 11 - New LETC Support Facilities - DIVISION 10.11.00 - UNIT LOCKERS</b>					
Lockers Allowance	75	LF	\$ 435.00	\$ 32,625	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 10.11.00 - UNIT LOCKERS</b>					\$ 32,625
<b>Area 11 - New LETC Support Facilities - DIVISION 11.03.00 - FOOD SERVICE EQUIPMENT</b>					
New Food Service Equipment	1,800	SF	\$ 278.00	\$ 500,400	
New Walk in Cooler and Freezer	1	Allow	\$ 15,000.00	\$ 15,000	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 11.03.00 - FOOD SERVICE EQUIPMENT</b>					\$ 515,400
<b>Area 11 - New LETC Support Facilities - DIVISION 14.00.00 - ELEVATORS</b>					
Include MRL Elevator for BLET Dorm	1	ALLOW	\$ 85,000.00	\$ 85,000	
Include MRL Elevator for ADV TR Dorm	1	ALLOW	\$ 85,000.00	\$ 85,000	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 14.00.00 - ELEVATORS</b>					\$ 170,000
<b>Area 11 - New LETC Support Facilities - DIVISION 21.00.00 - FIRE SPRINKLER</b>					
Include new Fire Sprinkler System with Semi-Recessed Heads	102,274	SF	\$ 4.15	\$ 424,437	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 21.00.00 - FIRE SPRINKLER</b>					\$ 424,437
<b>Area 11 - New LETC Support Facilities - DIVISION 22.00.00 - PLUMBING</b>					
Plumbing rough-in for New Dormitory with Roof Drains	102,274	SF	\$ 5.10	\$ 521,597	
Wall Mounted Lavatory	142	EA	\$ 1,450.00	\$ 205,900	
Fixture Allowance	148	EA	\$ 435.00	\$ 64,380	
Drinking Fountains	8	EA	\$ 1,850.00	\$ 14,800	
Floor Drains	12	EA	\$ 450.00	\$ 5,400	
Toilet	142	EA	\$ 1,650.00	\$ 234,300	
Urinals	3	EA	\$ 1,070.00	\$ 3,210	



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
Plumbing rough-in Including Roof Drains	1	LS	\$ 50,085.00	\$ 50,085	
Wall Mounted Lavatory	5	EA	\$ 1,450.00	\$ 7,250	
Fixture Allowance	5	EA	\$ 435.00	\$ 2,175	
Drinking Fountains	2	EA	\$ 1,850.00	\$ 3,700	
Floor Drains	3	EA	\$ 450.00	\$ 1,350	
Toilet	6	EA	\$ 1,650.00	\$ 9,900	
Urinals	3	EA	\$ 1,070.00	\$ 3,210	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 22.00.00 - PLUMBING</b>					\$ 1,127,257
<b>Area 11 - New LETC Support Facilities - DIVISION 23.00.00 - HVAC</b>					
Include VAV Boxes	35	EA	\$ 1,700.00	\$ 59,500	
Include Bath Exhaust Fans	32	EA	\$ 450.00	\$ 14,400	
Include Cleaning Existing Grills and Registers	59,340	SF	\$ .25	\$ 14,835	
Include All New 4 Pipe Copper Lines for HVAC	59,340	SF	\$ 4.80	\$ 284,832	
Include Automatic HVAC Temperature Controls	59,340	SF	\$ 5.12	\$ 303,821	
Test and Balance the Systems	59,340	SF	\$ .25	\$ 14,835	
Include VAV Boxes	65	EA	\$ 1,700.00	\$ 110,500	
Include Bath Exhaust Fans	132	EA	\$ 450.00	\$ 59,400	
Include New Grills and Registers	42,934	SF	\$ 3.85	\$ 165,296	
Include All New 4 Pipe Copper Lines for HVAC Tie into Existing Mech	42,934	SF	\$ 4.80	\$ 206,083	
Include Automatic HVAC Temperature Controls	42,934	SF	\$ 5.12	\$ 219,822	
Test and Balance the Systems	42,934	SF	\$ .25	\$ 10,734	
New Mech Equipment	102,274	SF	\$ 24.00	\$ 2,454,576	
Extend piping to New Mech Yard	1	Allow	\$ 15,000.00	\$ 15,000	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 23.00.00 - HVAC</b>					\$ 3,933,633
<b>Area 11 - New LETC Support Facilities - DIVISION 26.01.00 - ELECTRICAL</b>					
Include Indoor LED Lighting Fixtures, Fixture Supports, Lighting Controls and Switches	102,274	SF	\$ 9.10	\$ 930,693	
Exterior Lighting - Wall Mounted	24	LS	\$ 650.00	\$ 15,600	
Power Plan and Branch Circuitry	102,274	SF	\$ 14.00	\$ 1,431,836	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 26.01.00 - ELECTRICAL</b>					\$ 2,378,129
<b>Area 11 - New LETC Support Facilities - DIVISION 26.02.00 - FIRE ALARM</b>					
Include Fire Alarm Detection and Notification Systems	102,274	SF	\$ 2.25	\$ 230,117	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 26.02.00 - FIRE ALARM</b>					\$ 230,117
<b>Area 11 - New LETC Support Facilities - DIVISION 27.01.00 - TELEDATA</b>					
Include VOIP Phones	130	EA	\$ 450.00	\$ 58,500	
Network Switches	2	EA	\$ 3,500.00	\$ 7,000	
Structured Cabling with Network Outlets/ Server Racks and Equipment	102,274	SF	\$ 3.50	\$ 357,959	
Include Paging System	102,274	SF	\$ 1.20	\$ 122,729	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 27.01.00 - TELEDATA</b>					\$ 546,188
<b>Area 11 - New LETC Support Facilities - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					
Include Security / Access Control System	2	EA	\$ 2,000.00	\$ 4,000	
Include Card Readers.	6	EA	\$ 2,500.00	\$ 15,000	
Include CCTV System	23	EA	\$ 2,500.00	\$ 57,500	
Include Security Door Contacts	6	EA	\$ 200.00	\$ 1,200	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					\$ 77,700
<b>Area 11 - New LETC Support Facilities - DIVISION 27.03.00 - AUDIO-VISUAL</b>					
Furnish & Install Dining AV Equipment	1	EA	\$ 5,000.00	\$ 5,000	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 27.03.00 - AUDIO-VISUAL</b>					\$ 5,000
<b>Area 11 - New LETC Support Facilities - DIVISION 31.02.00 - EARTHWORK</b>					
Excavate Building Footprint and Construct Building Pad using Select Structural Fill (Assumed to be on-site). Excavate to allow for a 48" layer of select fill with a 5'-0" offset. Include Proof-roll, scarify, compact, and install select fill (10-20 PI) in 9" lifts compacted to 95%.	69,484	SF	\$ 3.13	\$ 217,485	
Include Helical Piers	1	LS	\$ 374,400.00	\$ 374,400	
Include Portion of Retention Area	99,000	SF	\$ 1.25	\$ 123,750	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 31.02.00 - EARTHWORK</b>					\$ 715,635
<b>Area 11 - New LETC Support Facilities - DIVISION 32.06.00 - LANDSCAPING / IRRIGATION</b>					
Include Automatic Irrigation System.	40,276	SF	\$ .58	\$ 23,360	
Include Dry Scape Areas with Weed Prevention	3,500	SF	\$ 2.65	\$ 9,275	
Sod Grass Areas	36,776	SF	\$ .82	\$ 30,156	
Include Plantings - 3 gallon	35	EA	\$ 25.00	\$ 875	
Include Bed Mix.	39	CY	\$ 26.45	\$ 1,029	



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
Furnish & Install 15-gallon Trees.	15	EA	\$ 540.00	\$ 8,100	
Include Plantings - Grasses	50	EA	\$ 25.00	\$ 1,250	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 32.06.00 - LANDSCAPING / IRRIGATION</b>					\$ 74,045
<b>Area 11 - New LETC Support Facilities - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					
Include Pavement Striping. Layout and Stripe Parking Areas.	1	LS	\$ 10,000.00	\$ 10,000	
Include Handicap Signs on 2" diameter Aluminum Posts.	8	EA	\$ 205.00	\$ 1,640	
Include Pavement Markings. Include Handicap Stencils on 4'-0" x 4'-0" Blue Background. Include Arrows, control Lines in Drives.	8	EA	\$ 45.00	\$ 360	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					\$ 12,000
<b>Area 11 - New LETC Support Facilities - DIVISION 32.03.00 - SITE CONCRETE</b>					
Construct Site Concrete/Sidewalk 4"	8,626	SF	\$ 4.59	\$ 39,593	
Construct Site Concrete/6" curb w 24" gutter	854	LF	\$ 19.20	\$ 16,397	
Construct New Parking	97,287	SF	\$ 8.45	\$ 822,075	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 32.03.00 - SITE CONCRETE</b>					\$ 878,065
<b>Area 11 - New LETC Support Facilities - DIVISION 33.00.00 - SITE UTILITIES</b>					
Include Water Lines	450	LF	\$ 35.00	\$ 15,750	
Include Sewer Lines	450	LF	\$ 55.00	\$ 24,750	
Include Underground Storm Drain	1,654	LF	\$ 85.00	\$ 140,590	
Include Storm Drain Boxes and Inlets	10	EA	\$ 6,500.00	\$ 65,000	
Include Fire Hydrant	3	EA	\$ 8,500.00	\$ 25,500	
<b>SUBTOTAL - Area 11 - New LETC Support Facilities - DIVISION 33.00.00 - SITE UTILITIES</b>					\$ 271,590
<b>Area 12 - New Defensive Tactics</b>					
<b>Area 12 - New Defensive Tactics - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					
Include Full-time Supervision, Project Engineering & Project Management. Include Jobsite Trailer. Include Temporary Facilities. Include Dumpsters and Temporary Fencing. Include Jobsite Safety Provisions and Surveys. Include Forklift and Major Equipment.	17	WKS			
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					
<b>Area 12 - New Defensive Tactics - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					
Include Rebar and Concrete Labor for Spread Footings	4	EA	\$ 800.00	\$ 3,200	
Include Concrete for Spread Footings	4	EA	\$ 637.87	\$ 2,551	
Include Concrete Slab on Grade	6,300	SF	\$ 5.25	\$ 33,075	
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					\$ 38,826
<b>Area 12 - New Defensive Tactics - DIVISION 04.01.00 - UNIT MASONRY</b>					
Include CMU Block for DT Walls	6,400	SF	\$ 18.00	\$ 115,200	
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 04.01.00 - UNIT MASONRY</b>					\$ 115,200
<b>Area 12 - New Defensive Tactics - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					
Include Structural Steel	6,300	SF	\$ 8.35	\$ 52,605	
Furnish and Erect Metal Joists and Decking	6,300	SF	\$ 8.18	\$ 51,534	
Include Connections, Embeds and Plates and Misc Metals	0	TONS	\$ 3,050.00	\$ 1,220	
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					\$ 105,359
<b>Area 12 - New Defensive Tactics - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					
Include In-wall Wood Blocking for Cabinetry, Specialties, Glazing, and Parapet	250	LF	\$ 4.61	\$ 1,153	
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					\$ 1,153
<b>Area 12 - New Defensive Tactics - DIVISION 07.02.00 - BUILDING INSULATION</b>					
Include Acoustical Batt Insulation integral to Interior Partitions.	3,504	SF	\$ 1.25	\$ 4,380	
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 07.02.00 - BUILDING INSULATION</b>					\$ 4,380
<b>Area 12 - New Defensive Tactics - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					
Furnish & Install Door Hardware Sets.	16	SETS	\$ 840.00	\$ 13,440	
Furnish WD Panel Doors	16	LEAF	\$ 603.75	\$ 9,660	
Furnish HM Door Frames	16	EA	\$ 420.00	\$ 6,720	
Install (Swing) HM & WD Door Panels.	16	LEAF	\$ 250.00	\$ 4,000	
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					\$ 33,820
<b>Area 12 - New Defensive Tactics - DIVISION 08.02.00 - OVERHEAD COILING DOORS</b>					
Motorized Overhead Sectional Door for DT Vehicle access	1	LS	\$ 3,000.00	\$ 3,000	



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 08.02.00 - OVERHEAD COILING DOORS</b>					\$ 3,000
<b>Area 12 - New Defensive Tactics - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					
Construct Interior Gyp. Board Partitions - Non-rated.	3,504	SF	\$ 6.75	\$ 23,652	
Install HM Door Frames	16	EA	\$ 175.00	\$ 2,800	
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					\$ 26,452
<b>Area 12 - New Defensive Tactics - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					
Furnish New Grid and Ceiling Tiles	1,660	SF	\$ 4.60	\$ 7,636	
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					\$ 7,636
<b>Area 12 - New Defensive Tactics - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					
Furnish & Install Carpet Flooring	522	SY	\$ 50.40	\$ 26,320	
Furnish & Install Resilient Base	584	LF	\$ 2.55	\$ 1,489	
Include Flooring Transitions	1	Lot	\$ 500.00	\$ 500	
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					\$ 28,309
<b>Area 12 - New Defensive Tactics - DIVISION 09.07.00 - ATHLETIC FLOORING</b>					
Furnish and Install Resilient Athletic Flooring	4,700	SF	\$ 7.20	\$ 33,840	
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 09.07.00 - ATHLETIC FLOORING</b>					\$ 33,840
<b>Area 12 - New Defensive Tactics - DIVISION 09.08.00 - PAINT</b>					
Include Paint Interior and Exterior Walls	7,008	SF	\$ 1.80	\$ 12,614	
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 09.08.00 - PAINT</b>					\$ 12,614
<b>Area 12 - New Defensive Tactics - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					
Furnish & Install Rated Fire Extinguisher Cabinets. Include Decals.	3	EA	\$ 247.50	\$ 743	
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					\$ 743
<b>Area 12 - New Defensive Tactics - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					
Furnish & Install Panel Signs. Signs shall be ADA Compliant. Include Room Identification Signage.	16	LOC	\$ 75.00	\$ 1,200	
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					\$ 1,200
<b>Area 12 - New Defensive Tactics - DIVISION 21.00.00 - FIRE SPRINKLER</b>					
New Fire Sprinkler System	6,300	SF	\$ 4.15	\$ 26,145	
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 21.00.00 - FIRE SPRINKLER</b>					\$ 26,145
<b>Area 12 - New Defensive Tactics - DIVISION 22.00.00 - PLUMBING</b>					
Plumbing rough-in	6,300	SF	\$ 5.10	\$ 32,130	
Drinking Fountains	2	EA	\$ 1,850.00	\$ 3,700	
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 22.00.00 - PLUMBING</b>					\$ 35,830
<b>Area 12 - New Defensive Tactics - DIVISION 23.00.00 - HVAC</b>					
Include NEW HVAC Equipment	6,300	EA	\$ 24.00	\$ 151,200	
Include VAV Boxes	4	EA	\$ 1,700.00	\$ 6,800	
Include All New Ductwork	6,300	SF	\$ 5.75	\$ 36,225	
Include Cleaning Existing Grills and Registers	6,300	SF	\$ .25	\$ 1,575	
Include All New 4 Pipe Copper Lines for HVAC	6,300	SF	\$ 4.80	\$ 30,240	
Include Automatic HVAC Temperature Controls	6,300	SF	\$ 5.12	\$ 32,256	
Test and Balance the Systems	6,300	SF	\$ .25	\$ 1,575	
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 23.00.00 - HVAC</b>					\$ 259,871
<b>Area 12 - New Defensive Tactics - DIVISION 26.01.00 - ELECTRICAL</b>					
Include Indoor LED Lighting Fixtures, Fixture Supports, Lighting Controls and Switches	6,300	SF	\$ 9.10	\$ 57,330	
Power Plan and Branch Circuitry	6,300	SF	\$ 14.00	\$ 88,200	
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 26.01.00 - ELECTRICAL</b>					\$ 145,530
<b>Area 12 - New Defensive Tactics - DIVISION 26.02.00 - FIRE ALARM</b>					
Include Fire Alarm Detection and Notification Systems	6,300	SF	\$ 2.25	\$ 14,175	
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 26.02.00 - FIRE ALARM</b>					\$ 14,175
<b>Area 12 - New Defensive Tactics - DIVISION 27.01.00 - TELEDATA</b>					
Include VOIP Phones	16	EA	\$ 450.00	\$ 7,200	
Network Switches	1	EA	\$ 3,500.00	\$ 3,500	
Structured Cabling with Network Outlets/ Server Racks and Equipment	6,300	SF	\$ 3.50	\$ 22,050	
Include Paging System	6,300	SF	\$ 1.20	\$ 7,560	



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 27.01.00 - TELEDATA</b>					\$ 40,310
<b>Area 12 - New Defensive Tactics - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					
Include CCTV System	2	EA	\$ 2,500.00	\$ 5,000	
<b>SUBTOTAL - Area 12 - New Defensive Tactics - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					\$ 5,000
<b>Area 13 - New Specialty Scenario Training Environments</b>					
<b>Area 13 - New Specialty Scenario Training Environments - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					
Include Full-time Supervision, Project Engineering & Project Management. Include Jobsite Trailer. Include Temporary Facilities. Include Dumpsters and Temporary Fencing. Include Jobsite Safety Provisions and Surveys. Include Forklift and Major Equipment.	4	WKS	\$ 14,384.21	\$ 57,537	
<b>SUBTOTAL - Area 13 - New Specialty Scenario Training Environments - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					\$ 57,537
<b>Area 13 - New Specialty Scenario Training Environments - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					
Include Rebar and Concrete Labor for Spread Footings	4	EA	\$ 800.00	\$ 3,200	
Include Concrete for Spread Footings	4	EA	\$ 637.87	\$ 2,551	
Include Concrete Slab on Grade	2,472	SF	\$ 5.25	\$ 12,978	
<b>SUBTOTAL - Area 13 - New Specialty Scenario Training Environments - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					\$ 18,729
<b>Area 13 - New Specialty Scenario Training Environments - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					
Include Structural Steel	2,472	SF	\$ 8.35	\$ 20,641	
Furnish and Erect Metal Joists and Decking	2,472	SF	\$ 8.18	\$ 20,221	
Include Connections, Embeds and Plates and Misc Metals	0	TONS	\$ 3,050.00	\$ 1,220	
<b>SUBTOTAL - Area 13 - New Specialty Scenario Training Environments - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					\$ 42,082
<b>Area 13 - New Specialty Scenario Training Environments - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					
Include In-wall Wood Blocking for Cabinetry, Specialties, Glazing, and Parapet	250	LF	\$ 4.61	\$ 1,153	
Include Wood Framed Walls for Mock Areas - 8ft	3,560	SF	\$ 1.95	\$ 6,942	
<b>SUBTOTAL - Area 13 - New Specialty Scenario Training Environments - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					\$ 8,095
<b>Area 13 - New Specialty Scenario Training Environments - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					
Cabinet Allowance for Mock Areas	1	ALLOW	\$ 18,240.00	\$ 18,240	
<b>SUBTOTAL - Area 13 - New Specialty Scenario Training Environments - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					\$ 18,240
<b>Area 13 - New Specialty Scenario Training Environments - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					
Furnish & Install Door Hardware Sets.	12	SETS	\$ 840.00	\$ 10,080	
Furnish WD Panel Doors	12	LEAF	\$ 603.75	\$ 7,245	
Furnish HM Door Frames	12	EA	\$ 420.00	\$ 5,040	
Install (Swing) HM & WD Door Panels.	12	LEAF	\$ 250.00	\$ 3,000	
<b>SUBTOTAL - Area 13 - New Specialty Scenario Training Environments - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					\$ 25,365
<b>Area 13 - New Specialty Scenario Training Environments - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					
Hang Drywall over Interior Framed Walls	3,560	SF	\$ 1.45	\$ 5,162	
Install HM Door Frames	12	EA	\$ 175.00	\$ 2,100	
<b>SUBTOTAL - Area 13 - New Specialty Scenario Training Environments - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					\$ 7,262
<b>Area 13 - New Specialty Scenario Training Environments - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					
Furnish & Install Carpet Flooring	275	SY	\$ 50.40	\$ 13,843	
Furnish & Install Resilient Base	890	LF	\$ 2.55	\$ 2,270	
<b>SUBTOTAL - Area 13 - New Specialty Scenario Training Environments - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					\$ 16,113
<b>Area 13 - New Specialty Scenario Training Environments - DIVISION 09.08.00 - PAINT</b>					
Include Paint Interior and Exterior Walls	7,008	SF	\$ 1.80	\$ 12,614	
<b>SUBTOTAL - Area 13 - New Specialty Scenario Training Environments - DIVISION 09.08.00 - PAINT</b>					\$ 12,614
<b>Area 13 - New Specialty Scenario Training Environments - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					
Furnish & Install Rated Fire Extinguisher Cabinets. Include Decals.	3	EA	\$ 247.50	\$ 743	
<b>SUBTOTAL - Area 13 - New Specialty Scenario Training Environments - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					\$ 743



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>Area 13 - New Specialty Scenario Training Environments - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					
Furnish & Install Panel Signs. Signs shall be ADA Compliant. Include Room Identification Signage.	16	LOC	\$ 75.00	\$ 1,200	
<b>SUBTOTAL - Area 13 - New Specialty Scenario Training Environments - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					\$ 1,200
<b>Area 13 - New Specialty Scenario Training Environments - DIVISION 21.00.00 - FIRE SPRINKLER</b>					
Refit of existing system in specific areas	2,472	SF	\$ 1.85	\$ 4,573	
<b>SUBTOTAL - Area 13 - New Specialty Scenario Training Environments - DIVISION 21.00.00 - FIRE SPRINKLER</b>					\$ 4,573
<b>Area 13 - New Specialty Scenario Training Environments - DIVISION 22.00.00 - PLUMBING</b>					
Install Mock Toilet	1	LS	\$ 550.00	\$ 550	
<b>SUBTOTAL - Area 13 - New Specialty Scenario Training Environments - DIVISION 22.00.00 - PLUMBING</b>					\$ 550
<b>Area 13 - New Specialty Scenario Training Environments - DIVISION 23.00.00 - HVAC</b>					
Include New Mechanical Equipment	2,472	EA	\$ 24.00	\$ 59,328	
Include VAV Boxes	2	EA	\$ 1,700.00	\$ 3,400	
Include All New Ductwork	2,472	SF	\$ 5.75	\$ 14,214	
Include Cleaning Existing Grills and Registers	2,472	SF	\$ .25	\$ 618	
Include All New 4 Pipe Copper Lines for HVAC	2,472	SF	\$ 4.80	\$ 11,866	
Include Automatic HVAC Temperature Controls	2,472	SF	\$ 5.12	\$ 12,657	
Test and Balance the Systems	2,472	SF	\$ .25	\$ 618	
<b>SUBTOTAL - Area 13 - New Specialty Scenario Training Environments - DIVISION 23.00.00 - HVAC</b>					\$ 102,700
<b>Area 13 - New Specialty Scenario Training Environments - DIVISION 26.01.00 - ELECTRICAL</b>					
Include Indoor LED Lighting Fixtures, Fixture Supports, Lighting Controls and Switches	2,472	SF	\$ 9.10	\$ 22,495	
Power Plan and Branch Circuitry	2,472	SF	\$ 14.00	\$ 34,608	
<b>SUBTOTAL - Area 13 - New Specialty Scenario Training Environments - DIVISION 26.01.00 - ELECTRICAL</b>					\$ 57,103
<b>Area 13 - New Specialty Scenario Training Environments - DIVISION 26.02.00 - FIRE ALARM</b>					
Include Fire Alarm Detection and Notification Systems	2,472	SF	\$ 2.25	\$ 5,562	
<b>SUBTOTAL - Area 13 - New Specialty Scenario Training Environments - DIVISION 26.02.00 - FIRE ALARM</b>					\$ 5,562
<b>Area 13 - New Specialty Scenario Training Environments - DIVISION 27.01.00 - TELEDATA</b>					
Include VOIP Phones	1	EA	\$ 450.00	\$ 450	
Structured Cabling with Network Outlets/ Server Racks and Equipment	2,472	SF	\$ 3.50	\$ 8,652	
Include Paging System	2,472	SF	\$ 1.20	\$ 2,966	
<b>SUBTOTAL - Area 13 - New Specialty Scenario Training Environments - DIVISION 27.01.00 - TELEDATA</b>					\$ 12,068
<b>Area 13 - New Specialty Scenario Training Environments - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					
Include CCTV System	2	EA	\$ 2,500.00	\$ 5,000	
<b>SUBTOTAL - Area 13 - New Specialty Scenario Training Environments - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					\$ 5,000
<b>Area 14 - New Firearms Training and Support Spaces</b>					
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					
Include Full-time Supervision, Project Engineering & Project Management. Include Jobsite Trailer. Include Temporary Facilities. Include Dumpsters and Temporary Fencing. Include Jobsite Safety Provisions and Surveys. Include Forklift and Major Equipment.	32	WKS	\$ 14,384.21	\$ 467,127	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					\$ 467,127
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					
Include Rebar for Linear Footings	704	LF	\$ 6.00	\$ 4,224	
Purchase & Place Concrete - Linear Footings	704	LF	\$ 80.00	\$ 56,320	
Include Concrete Slab Rebar	29,369	SF	\$ .95	\$ 27,901	
Include Concrete Slab on Grade	29,369	SF	\$ 8.60	\$ 252,573	
Include Rebar for Foundations	10,680	SF	\$ 3.45	\$ 36,846	
Purchase & Place Concrete - Foundations	555	CY	\$ 336.02	\$ 186,491	
Include Rebar for Spread Footings	14	EA	\$ 600.00	\$ 8,400	
Include Concrete and Labor for Spread Footings	14	EA	\$ 1,240.00	\$ 17,360	
Include Rebar for Linear Footings 300 yd	704	LF	\$ 6.00	\$ 4,224	
Purchase & Place Concrete - Linear Footings 300 yd	704	LF	\$ 80.00	\$ 56,320	
Include Concrete Precast Baffles 300 yd	13,680	SF	\$ 9.50	\$ 129,960	



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
Include Rebar for Foundations 300 yd	22,032	SF	\$ 3.45	\$ 76,010	
Purchase & Place Concrete - Foundations 300yd	1,836	LF	\$ 161.40	\$ 296,330	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					\$ 1,152,959
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					
Include Structural Steel	29,369	SF	\$ 2.16	\$ 63,437	
Furnish and Erect Metal Decking	29,369	SF	\$ 5.65	\$ 165,935	
Furnish and Erect Metal Joists	29,369	SF	\$ 6.75	\$ 198,241	
Include Connections, Embeds and Plates and Misc Metals	3	TONS	\$ 3,050.00	\$ 9,150	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					\$ 436,763
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					
Include In-wall Wood Blocking for Cabinetry, Specialties, Glazing, and Parapet	650	LF	\$ 4.61	\$ 2,997	
Include Treated Plywood - Elec. Rooms	120	SF	\$ 4.25	\$ 510	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					\$ 3,507
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					
Range Allowance for Countertops and Millwork	1	Allow	\$ 9,600.00	\$ 9,600	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					\$ 9,600
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 07.02.00 - BUILDING INSULATION</b>					
Include Acoustical Batt Insulation integral to Interior Partitions.	5,172	SF	\$ 1.25	\$ 6,465	
Furnish & Install Rigid Insulation - Foundation, Parking Deck and Metal Stud Walls	10,815	SF	\$ 2.66	\$ 28,768	
Furnish & Install Thermal Batt Insulation - Exterior Walls.	2,112	SF	\$ 2.80	\$ 5,914	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 07.02.00 - BUILDING INSULATION</b>					\$ 41,147
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 07.03.00 - ROOFING</b>					
Include TPO Membrane System. Include Tapered Rigid Insulation. Include Protection Board. Include Walkpads. Include Roofing at Reverse-side of Parapet Walls. Include Integral Flashings, Reglets & Scuppers.	29,369	SF	\$ 8.90	\$ 261,384	
Include Roofing Parapet Cap	704	LF	\$ 12.45	\$ 8,765	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 07.03.00 - ROOFING</b>					\$ 270,149
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 07.05.00 - SIDING</b>					
Stucco Over Exterior Insulation	10,815	SF	\$ 9.61	\$ 103,932	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 07.05.00 - SIDING</b>					\$ 103,932
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					
Furnish & Install Door Hardware Sets.	10	SETS	\$ 840.00	\$ 8,400	
Furnish HM Door Frames	10	EA	\$ 420.00	\$ 4,200	
Install (Swing) HM & WD Door Panels.	10	LEAF	\$ 250.00	\$ 2,500	
Furnish and Install HM Doors	10	LEAF	\$ 455.00	\$ 4,550	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					\$ 19,650
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 08.02.00 - OVERHEAD COILING DOORS</b>					
Motorized Overhead Sectional Door for Mock Vehicle Training	1	LS	\$ 3,000.00	\$ 3,000	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 08.02.00 - OVERHEAD COILING DOORS</b>					\$ 3,000
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					
Construct Interior Gyp. Board Partitions - Non-rated.	5,172	SF	\$ 6.75	\$ 34,911	
Furnish and Install Gyp Board at Dorm Areas, Showers, Bathrooms, Housekp	225	SF	\$ 6.20	\$ 1,395	
Install HM Door Frames	10	EA	\$ 175.00	\$ 1,750	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					\$ 38,056
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					
Furnish New Grid and Ceiling Tiles	1,600	SF	\$ 4.60	\$ 7,360	
Furnish New Grid and Ceiling Tiles in Circulation	1,000	SF	\$ 6.25	\$ 6,250	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					\$ 13,610
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 09.05.00 - CERAMIC TILE</b>					
Include Floor Tile in Restrooms	225	SF	\$ 11.00	\$ 2,475	
Include Wall Tile in Restrooms	366	SF	\$ 18.00	\$ 6,588	



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 09.05.00 - CERAMIC TILE</b>					\$ 9,063
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					
Furnish & Install Carpet Flooring	289	SY	\$ 50.40	\$ 14,560	
Furnish & Install Resilient Base	860	LF	\$ 2.55	\$ 2,193	
Include Flooring Transitions	1	Lot	\$ 250.00	\$ 250	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					\$ 17,003
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 09.08.00 - PAINT</b>					
Include Paint Interior and Exterior Walls along with gyp ceilings	10,344	SF	\$ 1.80	\$ 18,619	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 09.08.00 - PAINT</b>					\$ 18,619
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 10.04.00 - TOILET ACCESSORIES</b>					
Furnish & Install Hand Dryers with Recess Kits.	2	EA	\$ 512.00	\$ 1,024	
Furnish & Install Toilet Tissue Dispensers.	2	EA	\$ 75.00	\$ 150	
Furnish & Install Grab Bars.	6	EA	\$ 90.00	\$ 540	
Furnish & Install Framed Mirrors	2	EA	\$ 125.00	\$ 250	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 10.04.00 - TOILET ACCESSORIES</b>					\$ 1,964
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					
Furnish & Install Rated Fire Extinguisher Cabinets. Include Decals.	7	EA	\$ 247.50	\$ 1,733	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					\$ 1,733
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					
Furnish & Install Panel Signs. Signs shall be ADA Compliant. Include Room Identification Signage.	10	LOC	\$ 75.00	\$ 750	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					\$ 750
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 10.11.00 - UNIT LOCKERS</b>					
Range Lockers	25	LF	\$ 275.00	\$ 6,875	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 10.11.00 - UNIT LOCKERS</b>					\$ 6,875
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 11.05.00 - SHOOTING RANGE EQUIPMENT</b>					
Include Interior Range Staging, Baffles, Back Stop and Target System	1	LS	\$ 1,050,000.00	\$ 1,050,000	
Include Exterior 300 Yd Range Staging, Baffles, Back Stop and Target System	1	LS	\$ 219,000.00	\$ 219,000	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 11.05.00 - SHOOTING RANGE EQUIPMENT</b>					\$ 1,269,000
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 21.00.00 - FIRE SPRINKLER</b>					
Not Sure Fire Sprinklers are required	29,369	SF	\$ 4.15	\$ 121,881	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 21.00.00 - FIRE SPRINKLER</b>					\$ 121,881
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 22.00.00 - PLUMBING</b>					
Plumbing rough-in for New Dormitory with Roof Drains	29,369	SF	\$ 6.37	\$ 187,081	
Wall Mounted Lavatory	2	EA	\$ 1,450.00	\$ 2,900	
Fixture Allowance	2	EA	\$ 435.00	\$ 870	
Drinking Fountains	1	EA	\$ 1,850.00	\$ 1,850	
Floor Drains	2	EA	\$ 450.00	\$ 900	
Toilet	2	EA	\$ 1,650.00	\$ 3,300	
Urinals	1	EA	\$ 1,070.00	\$ 1,070	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 22.00.00 - PLUMBING</b>					\$ 197,971
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 23.00.00 - HVAC</b>					
Include Air Exchanger and Exhaust for Range	1	LS	\$ 36,000.00	\$ 36,000	
Include Unit Heaters	2	EA	\$ 3,500.00	\$ 7,000	
Include Evaporative Coolers	2	EA	\$ 4,100.00	\$ 8,200	
Include Gas Lines	1	LS	\$ 10,500.00	\$ 10,500	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 23.00.00 - HVAC</b>					\$ 61,700
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 26.01.00 - ELECTRICAL</b>					
Include Indoor LED Lighting Fixtures, Fixture Supports, Lighting Controls and Switches	29,369	SF	\$ 9.10	\$ 267,258	
Branch Panels	1	LS	\$ 8,500.00	\$ 8,500	
Panel Feeders	1	LS	\$ 9,200.00	\$ 9,200	
Exterior Lighting - Wall Mounted	10	EA	\$ 650.00	\$ 6,500	
Power Plan and Branch Circuitry	29,369	SF	\$ 4.35	\$ 127,755	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 26.01.00 - ELECTRICAL</b>					\$ 419,213



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 26.02.00 - FIRE ALARM</b>					
Include Fire Alarm Detection and Notification Systems	29,369	SF	\$ 2.25	\$ 66,080	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 26.02.00 - FIRE ALARM</b>					\$ 66,080
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 27.01.00 - TELEDATA</b>					
Include VOIP Phones	6	EA	\$ 450.00	\$ 2,700	
Network Switches	1	EA	\$ 3,500.00	\$ 3,500	
Structured Cabling with Network Outlets/ Server Racks and Equipment	29,369	SF	\$ 3.50	\$ 102,792	
Include Paging System	29,369	SF	\$ 1.20	\$ 35,243	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 27.01.00 - TELEDATA</b>					\$ 144,234
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					
Include Security / Access Control System	1	EA	\$ 2,000.00	\$ 2,000	
Include Card Readers.	2	EA	\$ 2,500.00	\$ 5,000	
Include CCTV System	8	EA	\$ 2,500.00	\$ 20,000	
Include Security Door Contacts	2	EA	\$ 200.00	\$ 400	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					\$ 27,400
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 31.02.00 - EARTHWORK</b>					
Excavate Building Footprint and Construct Building Pad using Select Structural Fill (Assumed to be on-site). Excavate to allow for a 48" layer of select fill with a 5'-0" off-set. Include Proof-roll, scarify, compact, and install select fill (10-20 PI) in 9" lifts compacted to 95%.	29,369	SF	\$ 3.13	\$ 91,925	
Include Helical Piers	1	LS	\$ 225,280.00	\$ 225,280	
Rough and Final Grade of Building and New Adjacent Parking	19,370	SF	\$ .60	\$ 11,622	
Rough and Final Grade of 300 Yd Range	19,950	SF	\$ 1.25	\$ 24,938	
Excavation for Footings	1,079	CY	\$ 6.75	\$ 7,284	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 31.02.00 - EARTHWORK</b>					\$ 361,048
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					
Include Pavement Striping, Layout and Stripe Parking Areas.	1	LS	\$ 5,000.00	\$ 5,000	
Include Handicap Signs on 2" diameter Aluminum Posts.	2	EA	\$ 205.00	\$ 410	
Include Pavement Markings. Include Handicap Stencils on 4'-0" x 4'-0" Blue Background. Include Arrows, control Lines in Drives.	2	EA	\$ 45.00	\$ 90	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					\$ 5,500
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 32.03.00 - SITE CONCRETE</b>					
Construct Site Concrete/Sidewalk 4"	4,971	SF	\$ 5.25	\$ 26,098	
Construct Site Concrete/6" curb w 24" gutter	270	LF	\$ 19.20	\$ 5,184	
Construct New Parking - Main Grade	12,871	SF	\$ 6.17	\$ 79,371	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 32.03.00 - SITE CONCRETE</b>					\$ 110,653
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 33.00.00 - SITE UTILITIES</b>					
Include Underground Storm Drain	550	LF	\$ 85.00	\$ 46,750	
Include Storm Drain Boxes and Inlets	4	EA	\$ 6,500.00	\$ 26,000	
Include Fire Hydrant	1	EA	\$ 8,500.00	\$ 8,500	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 33.00.00 - SITE UTILITIES</b>					\$ 376,340
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 32.06.00 - LANDSCAPING / IRRIGATION</b>					
Natural Seeded Area	15,000	SF	\$ .28	\$ 4,200	
Include Sleeves for Irrigation Systems.	1	LS	\$ 750.00	\$ 750	
Include Large Stone Ground Cover for Dry Scape Areas with Weed Prevention	650	SF	\$ 2.65	\$ 1,723	
Include Plantings - 3 gallon	25	EA	\$ 25.00	\$ 625	
Include Plantings - Grasses	15	EA	\$ 25.00	\$ 375	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 32.06.00 - LANDSCAPING / IRRIGATION</b>					\$ 7,673
<b>Area 14 - New Firearms Training and Support Spaces - DIVISION 33.00.00 - SITE UTILITIES</b>					
Include Water Lines	550	LF	\$ 35.00	\$ 19,250	
Include Sewer Lines	550	LF	\$ 55.00	\$ 30,250	
Include Underground Storm Drain	1,654	LF	\$ 85.00	\$ 140,590	
Include Storm Drain Boxes and Inlets	6	EA	\$ 6,500.00	\$ 39,000	
Include Site Utilities New Water Connection and Sewer	550	LF	\$ 75.00	\$ 41,250	
Include Gas Line	550	LF	\$ 45.00	\$ 24,750	
<b>SUBTOTAL - Area 14 - New Firearms Training and Support Spaces - DIVISION 33.00.00 - SITE UTILITIES</b>					\$ 376,340
<b>Area 15 - New Tactical Village Training</b>					
<b>Area 15 - New Tactical Village Training - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
Include Full-time Supervision, Project Engineering & Project Management. Include Jobsite Trailer. Include Temporary Facilities. Include Dumpsters and Temporary Fencing. Include Jobsite Safety Provisions and Surveys. Include Forklift and Major Equipment.	35	WKS	\$ 14,384.21	\$ 498,269	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					\$ 498,269
<b>Area 15 - New Tactical Village Training - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					
Include Concrete Slab on Grade	44,734	SF	\$ 5.75	\$ 257,221	
Include Rebar for Linear Footings	1,014	LF	\$ 4.00	\$ 4,056	
Purchase & Place Concrete -	1,014	LF	\$ 80.00	\$ 81,120	
Include Rebar for Foundations	3,042	SF	\$ 3.45	\$ 10,495	
Purchase & Place Concrete - Foundations Large	1,014	LF	\$ 64.26	\$ 65,156	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					\$ 418,047
<b>Area 15 - New Tactical Village Training - DIVISION 04.01.00 - UNIT MASONRY</b>					
Include CMU for Mock School	7,320	SF	\$ 18.00	\$ 131,760	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 04.01.00 - UNIT MASONRY</b>					\$ 131,760
<b>Area 15 - New Tactical Village Training - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					
Include Structural Steel	9,600	SF	\$ 5.30	\$ 50,880	
Furnish and Erect Metal Decking (Roofing)	9,600	SF	\$ 5.65	\$ 54,240	
Furnish and Erect Metal Joists	9,600	SF	\$ 6.75	\$ 64,800	
Include Connections, Embeds and Plates	2	TONS	\$ 3,050.00	\$ 5,948	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					\$ 175,868
<b>Area 15 - New Tactical Village Training - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					
Include In-wall Wood Blocking for Cabinetry, Specialties, Glazing, and Parapet	539	LF	\$ 4.61	\$ 2,486	
Include Framing for Tactical Village Buildings	32,629	SF	\$ 17.50	\$ 571,008	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					\$ 573,494
<b>Area 15 - New Tactical Village Training - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					
Include Teacher Cabinets	15	LF	\$ 750.00	\$ 11,250	
Include Plam Cabinetry Uppers	60	LF	\$ 290.00	\$ 17,400	
Include Plam Cabinet Lower includes plam countertop	60	LF	\$ 480.00	\$ 28,800	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					\$ 57,450
<b>Area 15 - New Tactical Village Training - DIVISION 07.03.00 - ROOFING</b>					
Include TPO Membrane with Protection Board only with scuppers for Drains	15,979	SF	\$ 3.15	\$ 50,334	
Include Roofing Parapet Cap	1,202	LF	\$ 12.45	\$ 14,965	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 07.03.00 - ROOFING</b>					\$ 65,299
<b>Area 15 - New Tactical Village Training - DIVISION 07.05.00 - SIDING</b>					
Include Stucco Siding at Mock Buildings	12,020	SF	\$ 5.10	\$ 61,302	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 07.05.00 - SIDING</b>					\$ 61,302
<b>Area 15 - New Tactical Village Training - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					
Furnish & Install Door Hardware Sets.	35	SETS	\$ 840.00	\$ 29,400	
Furnish WD Panel Doors	35	LEAF	\$ 603.75	\$ 21,131	
Furnish HM Door Frames	35	EA	\$ 420.00	\$ 14,700	
Install (Swing) HM & WD Door Panels.	35	LEAF	\$ 250.00	\$ 8,750	
Furnish and Install HM Doors	5	LEAF	\$ 455.00	\$ 2,275	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					\$ 76,256
<b>Area 15 - New Tactical Village Training - DIVISION 08.03.00 - GLASS &amp; GLAZING</b>					
Aluminum Storefront Interior Glazing	200	SF	\$ 45.00	\$ 9,000	
Aluminum Storefront Single Pane	1,803	SF	\$ 56.00	\$ 100,968	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 08.03.00 - GLASS &amp; GLAZING</b>					\$ 109,968
<b>Area 15 - New Tactical Village Training - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					
Construct Interior Gyp. Board Partitions - Non-rated.	7,320	SF	\$ 6.75	\$ 49,410	
Include Gypsum Board to Framed Members	4,896	SF	\$ 1.35	\$ 6,610	
Furnish and Install Gyp Board at Motel and School RR	3,579	SF	\$ 6.20	\$ 22,190	
Install HM Door Frames	39	EA	\$ 175.00	\$ 6,825	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					\$ 85,034



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>Area 15 - New Tactical Village Training - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					
Furnish New Grid and Ceiling Tiles	12,600	SF	\$ 4.60	\$ 57,960	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					\$ 57,960
<b>Area 15 - New Tactical Village Training - DIVISION 09.08.00 - PAINT</b>					
Include Paint Interior and Exterior Walls	23,115	SF	\$ 1.80	\$ 41,607	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 09.08.00 - PAINT</b>					\$ 41,607
<b>Area 15 - New Tactical Village Training - DIVISION 10.03.00 - TOILET PARTITIONS</b>					
Furnish and Install Toilet Partitions	2	STALL	\$ 900.00	\$ 1,800	
Furnish and Install Urinal Screens	1	STALL	\$ 320.00	\$ 320	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 10.03.00 - TOILET PARTITIONS</b>					\$ 2,120
<b>Area 15 - New Tactical Village Training - DIVISION 22.00.00 - PLUMBING</b>					
Mock Lavatory	4	EA	\$ 250.00	\$ 1,000	
Mock Toilet	3	EA	\$ 550.00	\$ 1,650	
Mock Urinals	3	EA	\$ 600.00	\$ 1,800	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 22.00.00 - PLUMBING</b>					\$ 4,450
<b>Area 15 - New Tactical Village Training - DIVISION 26.01.00 - ELECTRICAL</b>					
Include Indoor LED Lighting Fixtures, Fixture Supports, Lighting Controls and Switches	15,979	SF	\$ 9.10	\$ 145,409	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 26.01.00 - ELECTRICAL</b>					\$ 145,409
<b>Area 15 - New Tactical Village Training - DIVISION 31.02.00 - EARTHWORK</b>					
Excavate Building Footprint and Construct Building Pad using Select Structural Fill (Assumed to be on-site). Excavate to allow for a 48" layer of select fill with a 5'-0" offset. Include Proof-roll, scarify, compact, and install select fill (10-20 PI) in 9" lifts compacted to 95%.	44,734	SF	\$ 3.13	\$ 140,017	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 31.02.00 - EARTHWORK</b>					\$ 140,017
<b>Area 15 - New Tactical Village Training - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					
Include Pavement Striping.	1	LS	\$ 15,000.00	\$ 15,000	
Include Traffic Control Signs. Include Schedule 40 Galvanized Posts.	15	EA	\$ 205.00	\$ 3,075	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					\$ 18,075
<b>Area 15 - New Tactical Village Training - DIVISION 32.03.00 - SITE CONCRETE</b>					
Construct Site Concrete/Sidewalk 4"	700	SF	\$ 4.59	\$ 3,213	
Construct New Paving around Tactical Village	72,000	SF	\$ 6.67	\$ 480,000	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 32.03.00 - SITE CONCRETE</b>					\$ 483,213
<b>Area 15 - New Tactical Village Training - DIVISION 33.00.00 - SITE UTILITIES</b>					
Include Water Lines for Hydrants	1,820	LF	\$ 45.00	\$ 81,900	
Include Fire Hydrant	4	EA	\$ 8,500.00	\$ 34,000	
<b>SUBTOTAL - Area 15 - New Tactical Village Training - DIVISION 33.00.00 - SITE UTILITIES</b>					\$ 115,900
<b>Area 16 - New EVOC Driving Track, Skills / Skid Pad</b>					
<b>Area 16 - New EVOC Driving Track, Skills / Skid Pad - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					
Include Full-time Supervision, Project Engineering & Project Management. Include Jobsite Trailer. Include Temporary Facilities. Include Dumpsters and Temporary Fencing. Include Jobsite Safety Provisions and Surveys. Include Forklift and Major Equipment.	17	WKS	\$ 14,384.21	\$ 249,134	
<b>SUBTOTAL - Area 16 - New EVOC Driving Track, Skills / Skid Pad - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					\$ 249,134
<b>Area 16 - New EVOC Driving Track, Skills / Skid Pad - DIVISION 12.04.00 - PEMB</b>					
Include PEMBs complete with Concrete, Insulation and Power for EVOC equipment	20,360	SF	\$ 55.00	\$ 1,119,800	
<b>SUBTOTAL - Area 16 - New EVOC Driving Track, Skills / Skid Pad - DIVISION 12.04.00 - PEMB</b>					\$ 1,119,800
<b>Area 16 - New EVOC Driving Track, Skills / Skid Pad - DIVISION 31.02.00 - EARTHWORK</b>					
Rough Grade and Level Lot	2,567,308	SF	\$ 1.25	\$ 3,209,135	
Prep for concrete paving	346,000	SF	\$ 1.00	\$ 346,000	
Road base for Skills Pad	236,110	SF	\$ .77	\$ 181,923	
Include Gravel Top for Skills Pad	236,110	SF	\$ .39	\$ 91,821	
Grade and Base for New Road To EVOC Course	81,337	SF	\$ 1.67	\$ 135,833	
Include Mobilization to Job Site	1	EA	\$ 15,000.00	\$ 15,000	
<b>SUBTOTAL - Area 16 - New EVOC Driving Track, Skills / Skid Pad - DIVISION 31.02.00 - EARTHWORK</b>					\$ 3,979,711



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>Area 16 - New EVOC Driving Track, Skills / Skid Pad - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					
Include Pavement Striping. Layout and Stripe Parking Areas.	1	LS	\$ 5,000.00	\$ 5,000	
Include Traffic Control Signs Include Schedule 40 Galvanized Posts.	4	EA	\$ 650.00	\$ 2,600	
<b>SUBTOTAL - Area 16 - New EVOC Driving Track, Skills / Skid Pad - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					\$ 7,600
<b>Area 16 - New EVOC Driving Track, Skills / Skid Pad - DIVISION 32.03.00 - SITE CONCRETE</b>					
Construct Site Concrete Driving Track	346,000	SF	\$ 6.67	\$ 2,306,667	
<b>SUBTOTAL - Area 16 - New EVOC Driving Track, Skills / Skid Pad - DIVISION 32.03.00 - SITE CONCRETE</b>					\$ 2,306,667
<b>Area 16 - New EVOC Driving Track, Skills / Skid Pad - DIVISION 32.06.00 - LANDSCAPING / IRRIGATION</b>					
Include Seeding Native Vegetation	2,100,000	SF	\$ .16	\$ 336,000	
<b>SUBTOTAL - Area 16 - New EVOC Driving Track, Skills / Skid Pad - DIVISION 32.06.00 - LANDSCAPING / IRRIGATION</b>					\$ 336,000
<b>Area 16 - New EVOC Driving Track, Skills / Skid Pad - DIVISION 33.00.00 - SITE UTILITIES</b>					
Include Site Utilities New Water Connection	550	LF	\$ 35.00	\$ 19,250	
Include Power for New EVOC Buildings	550	LF	\$ 45.00	\$ 24,750	
Include Site Utilities Septic System	1	Allow	\$ 15,000.00	\$ 15,000	
Include Fire Hydrants	2	EA	\$ 8,500.00	\$ 17,000	
<b>SUBTOTAL - Area 16 - New EVOC Driving Track, Skills / Skid Pad - DIVISION 33.00.00 - SITE UTILITIES</b>					\$ 76,000



WLEA Feasibility Study Existing Site

Job Duration (Months): 24.03 Months  
 Area Square Footage: 231,246 SF

Area: PROJECT TOTAL

Estimate dated: May 5, 2020

Description	Estimate	Price per SF
Existing Administration/Instructor/Staff Offices and Support Spaces	\$ 2,102,135	\$ 235.56 /SF
Existing Lecture / Classroom / Laboratory / Meeting Facilities	\$ 7,263,170	\$ 265.63 /SF
Existing LETC Support Facilities	\$ 20,223,141	\$ 197.73 /SF
Existing Defensive Tactics	\$ 571,962	\$ 90.79 /SF
Existing Specialty Scenario Training Environments	\$ 379,489	\$ 153.51 /SF
Existing Firearms Training and Support Spaces	\$ 7,474,022	\$ 254.49 /SF
Existing Tactical Village Training	\$ 4,339,418	\$ 97.00 /SF
Existing EVOG Driving Track, Skills / Skid Pad	\$ 17,128,448	
Potential Land Puchase Price	\$ 573,990	
<b>Existing Site Project Total Site Improvements</b>	<b>\$ 60,055,775</b>	<b>\$ 259.71 /SF</b>



Area: PROJECT TOTAL

Estimate dated: May 5, 2020

Description		Estimate	Price per SF
<b>01.00.00 - GENERAL REQUIREMENTS:</b>			
GENERAL CONDITIONS	7.07%	\$ 3,154,537	\$ 13.64 /SF
DEMOLITION	0.52%	\$ 233,416	\$ 1.01 /SF
<b>03.00.00 - CONCRETE:</b>			
CIP AND TILT-UP CONCRETE & REBAR	7.11%	\$ 3,171,835	\$ 13.72 /SF
<b>04.00.00 - MASONRY:</b>			
UNIT MASONRY	3.28%	\$ 1,461,513	\$ 6.32 /SF
<b>05.00.00 - METALS:</b>			
STRUCTURAL STEEL / MISC. METALS / METAL C	5.87%	\$ 2,619,852	\$ 11.33 /SF
<b>06.00.00 - WOOD, PLASTICS &amp; COMPOSITES:</b>			
ROUGH CARPENTRY	1.36%	\$ 605,738	\$ 2.62 /SF
MILLWORK & TRIM	0.65%	\$ 289,370	\$ 1.25 /SF
<b>07.00.00 - THERMAL &amp; MOISTURE PROTECTION:</b>			
WATERPROOFING & CAULKING	0.04%	\$ 16,250	\$ 0.07 /SF
BUILDING INSULATION	1.13%	\$ 505,709	\$ 2.19 /SF
ROOFING	1.77%	\$ 791,159	\$ 3.42 /SF
EXPANSION JOINT ASSEMBLIES	0.18%	\$ 79,160	\$ 0.34 /SF
SIDING	0.37%	\$ 165,234	\$ 0.71 /SF
<b>08.00.00 - OPENINGS:</b>			
DOORS, FRAMES & HW	2.11%	\$ 941,113	\$ 4.07 /SF
OVERHEAD COILING DOORS	0.02%	\$ 10,760	\$ 0.05 /SF
GLASS & GLAZING	0.85%	\$ 378,606	\$ 1.64 /SF
<b>09.00.00 - FINISHES:</b>			
FRAMING, DRYWALL, GFRG & FRP	4.09%	\$ 1,823,614	\$ 7.89 /SF
GRID CEILING SYSTEMS	0.70%	\$ 310,154	\$ 1.34 /SF
CERAMIC TILE	0.34%	\$ 152,954	\$ 0.66 /SF
RESILIENT FLOORING & CARPET	1.61%	\$ 720,233	\$ 3.11 /SF
ATHLETIC FLOORING	0.39%	\$ 175,100	\$ 0.76 /SF
PAINT	1.72%	\$ 766,960	\$ 3.32 /SF
<b>10.00.00 - SPECIALTIES:</b>			
TOILET PARTITIONS	0.05%	\$ 22,300	\$ 0.10 /SF
TOILET ACCESSORIES	0.04%	\$ 16,704	\$ 0.07 /SF
FIRE PROTECTION SPECIALTIES	0.02%	\$ 10,890	\$ 0.05 /SF
SIGNAGE / IDENTIFICATION DEVICES	0.07%	\$ 31,125	\$ 0.13 /SF
UNIT LOCKERS	0.09%	\$ 39,500	\$ 0.17 /SF
OPERABLE PARTITIONS	0.44%	\$ 195,600	\$ 0.85 /SF
<b>11.00.00 - EQUIPMENT:</b>			
FOOD SERVICE EQUIPMENT	1.16%	\$ 515,400	\$ 2.23 /SF
SHOOTING RANGE EQUIPMENT	2.85%	\$ 1,269,000	\$ 5.49 /SF
RESIDENTIAL APPLIANCES	0.01%	\$ 5,000	\$ 0.02 /SF
THEATRICAL EQUIPMENT	0.71%	\$ 315,000	\$ 1.36 /SF
<b>12.00.00 - FURNISHINGS:</b>			
PEMB	2.51%	\$ 1,119,800	\$ 4.84 /SF
<b>14.00.00 - CONVEYING EQUIPMENT:</b>			
ELEVATORS	0.64%	\$ 285,000	\$ 1.23 /SF
<b>21.00.00 - FIRE SUPPRESSION:</b>			
FIRE SPRINKLER	1.14%	\$ 508,615	\$ 2.20 /SF
<b>22.00.00 - PLUMBING:</b>			
PLUMBING	2.86%	\$ 1,274,180	\$ 5.51 /SF
<b>23.00.00 - HEATING, VENTILATING &amp; AIR-CONDITIONING</b>			
HVAC	6.04%	\$ 2,696,208	\$ 11.66 /SF
<b>26.00.00 - ELECTRICAL:</b>			
ELECTRICAL	5.95%	\$ 2,655,182	\$ 11.48 /SF
FIRE ALARM	0.59%	\$ 264,020	\$ 1.14 /SF
<b>27.00.00 - LOW VOLTAGE:</b>			
TELEDATA	1.56%	\$ 693,607	\$ 3.00 /SF
SECURITY & ACCESS CONTROL	0.45%	\$ 200,800	\$ 0.87 /SF
AUDIO-VISUAL	0.09%	\$ 40,000	\$ 0.17 /SF
<b>31.00.00 - EARTHWORK:</b>			
EARTHWORK	22.03%	\$ 9,826,478	\$ 42.49 /SF
<b>32.00.00 - EXTERIOR IMPROVEMENTS:</b>			
BITUMINOUS PAVING	0.63%	\$ 282,529	\$ 1.22 /SF
PAVEMENT MARKINGS	0.10%	\$ 44,675	\$ 0.19 /SF
SITE CONCRETE	4.53%	\$ 2,022,751	\$ 8.75 /SF
LANDSCAPING / IRRIGATION	0.79%	\$ 353,856	\$ 1.53 /SF
<b>33.00.00 - UTILITIES:</b>			
SITE UTILITIES	2.05%	\$ 913,990	\$ 3.95 /SF
<b>SUBTOTAL:</b>		<b>\$ 44,604,075</b>	<b>\$ 192.89 /SF</b>
BUILDER'S RISK INSURANCE:	0.14%	\$ 85,771	\$ 0.37 /SF
GENERAL LIABILITY INSURANCE:	0.65%	\$ 386,632	\$ 1.67 /SF
GENERAL CONTRACTOR BOND:	0.57%	\$ 336,900	\$ 1.46 /SF
PROJECT ESCALATION:	8.47%	\$ 3,846,900	\$ 16.64 /SF
DRAWING DEV. CONTINGENCY:	15.00%	\$ 7,389,042	\$ 31.95 /SF
GENERAL CONTRACTOR FEE:	5.00%	\$ 2,832,470	\$ 12.25 /SF
<b>TOTAL:</b>		<b>\$ 59,481,785</b>	<b>\$ 257.22 /SF</b>



WLEA Feasibility Study Existing Site

Job Duration (Months): 24.03 Months  
 Area Square Footage: 8,924 SF

Area: Area 01 - Existing Administration/Instructor/S

Estimate dated: May 5, 2020

Description		Estimate	Price per SF
<b>01.00.00 - GENERAL REQUIREMENTS:</b>			
GENERAL CONDITIONS	15.57%	\$ 245,376	\$ 27.50 /SF
DEMOLITION	2.68%	\$ 42,249	\$ 4.73 /SF
<b>03.00.00 - CONCRETE:</b>			
CIP AND TILT-UP CONCRETE & REBAR	2.74%	\$ 43,126	\$ 4.83 /SF
<b>04.00.00 - MASONRY:</b>			
UNIT MASONRY	4.73%	\$ 74,490	\$ 8.35 /SF
<b>05.00.00 - METALS:</b>			
STRUCTURAL STEEL / MISC. METALS / METAL D	3.55%	\$ 55,985	\$ 6.27 /SF
<b>06.00.00 - WOOD, PLASTICS &amp; COMPOSITES:</b>			
ROUGH CARPENTRY	0.22%	\$ 3,507	\$ 0.39 /SF
MILLWORK & TRIM	3.35%	\$ 52,850	\$ 5.92 /SF
<b>07.00.00 - THERMAL &amp; MOISTURE PROTECTION:</b>			
WATERPROOFING & CAULKING	0.51%	\$ 8,000	\$ 0.90 /SF
BUILDING INSULATION	1.90%	\$ 29,893	\$ 3.35 /SF
ROOFING	2.48%	\$ 39,078	\$ 4.38 /SF
EXPANSION JOINT ASSEMBLIES	0.32%	\$ 5,000	\$ 0.56 /SF
SIDING		\$ -	\$ -
<b>08.00.00 - OPENINGS:</b>			
DOORS, FRAMES & HW	4.83%	\$ 76,095	\$ 8.53 /SF
OVERHEAD COILING DOORS	0.10%	\$ 1,560	\$ 0.17 /SF
GLASS & GLAZING	3.24%	\$ 51,028	\$ 5.72 /SF
<b>09.00.00 - FINISHES:</b>			
FRAMING, DRYWALL, GFRG & FRP	7.01%	\$ 110,518	\$ 12.38 /SF
GRID CEILING SYSTEMS	2.60%	\$ 41,050	\$ 4.60 /SF
CERAMIC TILE	0.67%	\$ 10,557	\$ 1.18 /SF
RESILIENT FLOORING & CARPET	3.41%	\$ 53,807	\$ 6.03 /SF
ATHLETIC FLOORING		\$ -	\$ -
PAINT	2.93%	\$ 46,197	\$ 5.18 /SF
<b>10.00.00 - SPECIALTIES:</b>			
TOILET PARTITIONS	0.19%	\$ 3,020	\$ 0.34 /SF
TOILET ACCESSORIES	0.13%	\$ 2,039	\$ 0.23 /SF
FIRE PROTECTION SPECIALTIES	0.05%	\$ 743	\$ 0.08 /SF
SIGNAGE / IDENTIFICATION DEVICES	0.19%	\$ 2,925	\$ 0.33 /SF
UNIT LOCKERS		\$ -	\$ -
OPERABLE PARTITIONS		\$ -	\$ -
<b>11.00.00 - EQUIPMENT:</b>			
FOOD SERVICE EQUIPMENT		\$ -	\$ -
SHOOTING RANGE EQUIPMENT		\$ -	\$ -
RESIDENTIAL APPLIANCES		\$ -	\$ -
THEATRICAL EQUIPMENT		\$ -	\$ -
<b>12.00.00 - FURNISHINGS:</b>			
PEMB		\$ -	\$ -
<b>14.00.00 - CONVEYING EQUIPMENT:</b>			
ELEVATORS		\$ -	\$ -
<b>21.00.00 - FIRE SUPPRESSION:</b>			
FIRE SPRINKLER	1.05%	\$ 16,509	\$ 1.85 /SF
<b>22.00.00 - PLUMBING:</b>			
PLUMBING	1.57%	\$ 24,780	\$ 2.78 /SF
<b>23.00.00 - HEATING, VENTILATING &amp; AIR-CONDITIONING</b>			
HVAC	9.83%	\$ 154,951	\$ 17.36 /SF
<b>26.00.00 - ELECTRICAL:</b>			
ELECTRICAL	8.54%	\$ 134,628	\$ 15.09 /SF
FIRE ALARM	1.27%	\$ 20,079	\$ 2.25 /SF
<b>27.00.00 - LOW VOLTAGE:</b>			
TELEDATA	4.00%	\$ 62,993	\$ 7.06 /SF
SECURITY & ACCESS CONTROL	0.96%	\$ 15,100	\$ 1.69 /SF
AUDIO-VISUAL	0.32%	\$ 5,000	\$ 0.56 /SF
<b>31.00.00 - EARTHWORK:</b>			
EARTHWORK	8.44%	\$ 132,982	\$ 14.90 /SF
<b>32.00.00 - EXTERIOR IMPROVEMENTS:</b>			
BITUMINOUS PAVING		\$ -	\$ -
PAVEMENT MARKINGS		\$ -	\$ -
SITE CONCRETE		\$ -	\$ -
LANDSCAPING / IRRIGATION	0.65%	\$ 10,184	\$ 1.14 /SF
<b>33.00.00 - UTILITIES:</b>			
SITE UTILITIES		\$ -	\$ -
<b>SUBTOTAL:</b>		<b>\$ 1,576,298</b>	<b>\$ 176.64 /SF</b>
BUILDER'S RISK INSURANCE:	0.14%	\$ 3,031	\$ 0.34 /SF
GENERAL LIABILITY INSURANCE:	0.65%	\$ 13,663	\$ 1.53 /SF
GENERAL CONTRACTOR BOND:	0.57%	\$ 11,906	\$ 1.33 /SF
PROJECT ESCALATION:	8.47%	\$ 136,000	\$ 15.24 /SF
DRAWING DEV. CONTINGENCY:	15.00%	\$ 261,135	\$ 29.26 /SF
GENERAL CONTRACTOR FEE:	5.00%	\$ 100,102	\$ 11.22 /SF
<b>TOTAL:</b>		<b>\$ 2,102,135</b>	<b>\$ 235.56 /SF</b>



WLEA Feasibility Study Existing Site

Job Duration (Months): 24.03 Months  
 Area Square Footage: 27,343 SF

Area: Area 02 - Existing Lecture / Classroom / Labo

Estimate dated: May 5, 2020

Description		Estimate	Price per SF
<b>01.00.00 - GENERAL REQUIREMENTS:</b>			
GENERAL CONDITIONS	9.01%	\$ 490,751	\$ 17.95 /SF
DEMOLITION	1.25%	\$ 67,929	\$ 2.48 /SF
<b>03.00.00 - CONCRETE:</b>			
CIP AND TILT-UP CONCRETE & REBAR	10.85%	\$ 590,712	\$ 21.60 /SF
<b>04.00.00 - MASONRY:</b>			
UNIT MASONRY	4.34%	\$ 236,405	\$ 8.65 /SF
<b>05.00.00 - METALS:</b>			
STRUCTURAL STEEL / MISC. METALS / METAL C	6.32%	\$ 344,377	\$ 12.59 /SF
<b>06.00.00 - WOOD, PLASTICS &amp; COMPOSITES:</b>			
ROUGH CARPENTRY	0.06%	\$ 2,996	\$ 0.11 /SF
MILLWORK & TRIM	2.56%	\$ 139,680	\$ 5.11 /SF
<b>07.00.00 - THERMAL &amp; MOISTURE PROTECTION:</b>			
WATERPROOFING & CAULKING	0.01%	\$ 750	\$ 0.03 /SF
BUILDING INSULATION	1.67%	\$ 90,757	\$ 3.32 /SF
ROOFING	1.90%	\$ 103,593	\$ 3.79 /SF
EXPANSION JOINT ASSEMBLIES	0.35%	\$ 19,250	\$ 0.70 /SF
SIDING		\$ -	\$ -
<b>08.00.00 - OPENINGS:</b>			
DOORS, FRAMES & HW	2.03%	\$ 110,825	\$ 4.05 /SF
OVERHEAD COILING DOORS	0.06%	\$ 3,200	\$ 0.12 /SF
GLASS & GLAZING	0.45%	\$ 24,240	\$ 0.89 /SF
<b>09.00.00 - FINISHES:</b>			
FRAMING, DRYWALL, GFRG & FRP	5.01%	\$ 272,610	\$ 9.97 /SF
GRID CEILING SYSTEMS	2.23%	\$ 121,215	\$ 4.43 /SF
CERAMIC TILE	0.74%	\$ 40,050	\$ 1.46 /SF
RESILIENT FLOORING & CARPET	2.96%	\$ 161,393	\$ 5.90 /SF
ATHLETIC FLOORING		\$ -	\$ -
PAINT	2.06%	\$ 112,261	\$ 4.11 /SF
<b>10.00.00 - SPECIALTIES:</b>			
TOILET PARTITIONS	0.17%	\$ 9,060	\$ 0.33 /SF
TOILET ACCESSORIES	0.13%	\$ 6,809	\$ 0.25 /SF
FIRE PROTECTION SPECIALTIES	0.05%	\$ 2,475	\$ 0.09 /SF
SIGNAGE / IDENTIFICATION DEVICES	0.07%	\$ 4,050	\$ 0.15 /SF
UNIT LOCKERS		\$ -	\$ -
OPERABLE PARTITIONS	3.59%	\$ 195,600	\$ 7.15 /SF
<b>11.00.00 - EQUIPMENT:</b>			
FOOD SERVICE EQUIPMENT		\$ -	\$ -
SHOOTING RANGE EQUIPMENT		\$ -	\$ -
RESIDENTIAL APPLIANCES	0.09%	\$ 5,000	\$ 0.18 /SF
THEATRICAL EQUIPMENT	5.78%	\$ 315,000	\$ 11.52 /SF
<b>12.00.00 - FURNISHINGS:</b>			
PEMB		\$ -	\$ -
<b>14.00.00 - CONVEYING EQUIPMENT:</b>			
ELEVATORS	1.56%	\$ 85,000	\$ 3.11 /SF
<b>21.00.00 - FIRE SUPPRESSION:</b>			
FIRE SPRINKLER	1.21%	\$ 66,041	\$ 2.42 /SF
<b>22.00.00 - PLUMBING:</b>			
PLUMBING	2.02%	\$ 110,080	\$ 4.03 /SF
<b>23.00.00 - HEATING, VENTILATING &amp; AIR-CONDITIONING</b>			
HVAC	7.59%	\$ 413,456	\$ 15.12 /SF
<b>26.00.00 - ELECTRICAL:</b>			
ELECTRICAL	7.19%	\$ 391,763	\$ 14.33 /SF
FIRE ALARM	1.13%	\$ 61,522	\$ 2.25 /SF
<b>27.00.00 - LOW VOLTAGE:</b>			
TELEDATA	2.92%	\$ 158,912	\$ 5.81 /SF
SECURITY & ACCESS CONTROL	1.30%	\$ 70,600	\$ 2.58 /SF
AUDIO-VISUAL	0.55%	\$ 30,000	\$ 1.10 /SF
<b>31.00.00 - EARTHWORK:</b>			
EARTHWORK	8.30%	\$ 451,985	\$ 16.53 /SF
<b>32.00.00 - EXTERIOR IMPROVEMENTS:</b>			
BITUMINOUS PAVING		\$ -	\$ -
PAVEMENT MARKINGS	0.12%	\$ 6,500	\$ 0.24 /SF
SITE CONCRETE	0.27%	\$ 14,728	\$ 0.54 /SF
LANDSCAPING / IRRIGATION		\$ -	\$ -
<b>33.00.00 - UTILITIES:</b>			
SITE UTILITIES	2.11%	\$ 114,950	\$ 4.20 /SF
<b>SUBTOTAL:</b>		<b>\$ 5,446,525</b>	<b>\$ 199.19 /SF</b>
BUILDER'S RISK INSURANCE:	0.14%	\$ 10,473	\$ 0.38 /SF
GENERAL LIABILITY INSURANCE:	0.65%	\$ 47,211	\$ 1.73 /SF
GENERAL CONTRACTOR BOND:	0.57%	\$ 41,138	\$ 1.50 /SF
PROJECT ESCALATION:	8.47%	\$ 469,700	\$ 17.18 /SF
DRAWING DEV. CONTINGENCY:	15.00%	\$ 902,257	\$ 33.00 /SF
GENERAL CONTRACTOR FEE:	5.00%	\$ 345,865	\$ 12.65 /SF
<b>TOTAL:</b>		<b>\$ 7,263,170</b>	<b>\$ 265.63 /SF</b>



WLEA Feasibility Study Existing Site

Job Duration (Months): 24.03 Months  
 Area Square Footage: 102,274 SF

Area: Area 03 - Existing LETC Support Facilities

Estimate dated: May 5, 2020

Description		Estimate	Price per SF
<b>01.00.00 - GENERAL REQUIREMENTS:</b>			
GENERAL CONDITIONS	5.26%	\$ 797,471	\$ 7.80 /SF
DEMOLITION	0.81%	\$ 123,238	\$ 1.20 /SF
<b>03.00.00 - CONCRETE:</b>			
CIP AND TILT-UP CONCRETE & REBAR	6.38%	\$ 966,991	\$ 9.45 /SF
<b>04.00.00 - MASONRY:</b>			
UNIT MASONRY	6.72%	\$ 1,018,858	\$ 9.96 /SF
<b>05.00.00 - METALS:</b>			
STRUCTURAL STEEL / MISC. METALS / METAL C	10.60%	\$ 1,606,859	\$ 15.71 /SF
<b>06.00.00 - WOOD, PLASTICS &amp; COMPOSITES:</b>			
ROUGH CARPENTRY	0.09%	\$ 12,988	\$ 0.13 /SF
MILLWORK & TRIM	0.08%	\$ 11,550	\$ 0.11 /SF
<b>07.00.00 - THERMAL &amp; MOISTURE PROTECTION:</b>			
WATERPROOFING & CAULKING	0.05%	\$ 7,500	\$ 0.07 /SF
BUILDING INSULATION	2.24%	\$ 339,532	\$ 3.32 /SF
ROOFING	2.06%	\$ 313,040	\$ 3.06 /SF
EXPANSION JOINT ASSEMBLIES	0.36%	\$ 54,910	\$ 0.54 /SF
SIDING		\$ -	\$ -
<b>08.00.00 - OPENINGS:</b>			
DOORS, FRAMES & HW	3.95%	\$ 599,101	\$ 5.86 /SF
OVERHEAD COILING DOORS		\$ -	\$ -
GLASS & GLAZING	1.28%	\$ 193,370	\$ 1.89 /SF
<b>09.00.00 - FINISHES:</b>			
FRAMING, DRYWALL, GFRG & FRP	8.46%	\$ 1,283,683	\$ 12.55 /SF
GRID CEILING SYSTEMS	0.45%	\$ 68,683	\$ 0.67 /SF
CERAMIC TILE	0.62%	\$ 93,284	\$ 0.91 /SF
RESILIENT FLOORING & CARPET	2.93%	\$ 443,607	\$ 4.34 /SF
ATHLETIC FLOORING	0.71%	\$ 107,420	\$ 1.05 /SF
PAINT	3.45%	\$ 523,048	\$ 5.11 /SF
<b>10.00.00 - SPECIALTIES:</b>			
TOILET PARTITIONS	0.05%	\$ 8,100	\$ 0.08 /SF
TOILET ACCESSORIES	0.04%	\$ 5,892	\$ 0.06 /SF
FIRE PROTECTION SPECIALTIES	0.03%	\$ 4,455	\$ 0.04 /SF
SIGNAGE / IDENTIFICATION DEVICES	0.14%	\$ 21,000	\$ 0.21 /SF
UNIT LOCKERS	0.22%	\$ 32,625	\$ 0.32 /SF
OPERABLE PARTITIONS		\$ -	\$ -
<b>11.00.00 - EQUIPMENT:</b>			
FOOD SERVICE EQUIPMENT	3.40%	\$ 515,400	\$ 5.04 /SF
SHOOTING RANGE EQUIPMENT		\$ -	\$ -
RESIDENTIAL APPLIANCES		\$ -	\$ -
THEATRICAL EQUIPMENT		\$ -	\$ -
<b>12.00.00 - FURNISHINGS:</b>			
PEMB		\$ -	\$ -
<b>14.00.00 - CONVEYING EQUIPMENT:</b>			
ELEVATORS	1.32%	\$ 200,000	\$ 1.96 /SF
<b>21.00.00 - FIRE SUPPRESSION:</b>			
FIRE SPRINKLER	1.90%	\$ 287,955	\$ 2.82 /SF
<b>22.00.00 - PLUMBING:</b>			
PLUMBING	6.10%	\$ 925,150	\$ 9.05 /SF
<b>23.00.00 - HEATING, VENTILATING &amp; AIR-CONDITIONING</b>			
HVAC	12.62%	\$ 1,914,057	\$ 18.71 /SF
<b>26.00.00 - ELECTRICAL:</b>			
ELECTRICAL	9.54%	\$ 1,446,185	\$ 14.14 /SF
FIRE ALARM	0.64%	\$ 96,602	\$ 0.94 /SF
<b>27.00.00 - LOW VOLTAGE:</b>			
TELEDATA	1.81%	\$ 275,090	\$ 2.69 /SF
SECURITY & ACCESS CONTROL	0.51%	\$ 77,700	\$ 0.76 /SF
AUDIO-VISUAL	0.03%	\$ 5,000	\$ 0.05 /SF
<b>31.00.00 - EARTHWORK:</b>			
EARTHWORK	3.87%	\$ 586,792	\$ 5.74 /SF
<b>32.00.00 - EXTERIOR IMPROVEMENTS:</b>			
BITUMINOUS PAVING		\$ -	\$ -
PAVEMENT MARKINGS	0.05%	\$ 7,000	\$ 0.07 /SF
SITE CONCRETE	0.74%	\$ 111,601	\$ 1.09 /SF
LANDSCAPING / IRRIGATION		\$ -	\$ -
<b>33.00.00 - UTILITIES:</b>			
SITE UTILITIES	0.52%	\$ 79,250	\$ 0.77 /SF
<b>SUBTOTAL:</b>		<b>\$ 15,164,987</b>	<b>\$ 148.28 /SF</b>
BUILDER'S RISK INSURANCE:	0.14%	\$ 29,161	\$ 0.29 /SF
GENERAL LIABILITY INSURANCE:	0.65%	\$ 131,451	\$ 1.29 /SF
GENERAL CONTRACTOR BOND:	0.57%	\$ 114,543	\$ 1.12 /SF
PROJECT ESCALATION:	8.47%	\$ 1,307,800	\$ 12.79 /SF
DRAWING DEV. CONTINGENCY:	15.00%	\$ 2,512,191	\$ 24.56 /SF
GENERAL CONTRACTOR FEE:	5.00%	\$ 963,007	\$ 9.42 /SF
<b>TOTAL:</b>		<b>\$ 20,223,141</b>	<b>\$ 197.73 /SF</b>



Estimate dated: May 5, 2020

Description		Estimate	Price per SF
<b>01.00.00 - GENERAL REQUIREMENTS:</b>			
GENERAL CONDITIONS		\$ -	\$ -
DEMOLITION		\$ -	\$ -
<b>03.00.00 - CONCRETE:</b>			
CIP AND TILT-UP CONCRETE & REBAR		\$ -	\$ -
<b>04.00.00 - MASONRY:</b>			
UNIT MASONRY		\$ -	\$ -
<b>05.00.00 - METALS:</b>			
STRUCTURAL STEEL / MISC. METALS / METAL C		\$ -	\$ -
<b>06.00.00 - WOOD, PLASTICS &amp; COMPOSITES:</b>			
ROUGH CARPENTRY	0.27%	\$ 1,153	\$ 0.18 /SF
MILLWORK & TRIM		\$ -	\$ -
<b>07.00.00 - THERMAL &amp; MOISTURE PROTECTION:</b>			
WATERPROOFING & CAULKING		\$ -	\$ -
BUILDING INSULATION	1.02%	\$ 4,380	\$ 0.70 /SF
ROOFING		\$ -	\$ -
EXPANSION JOINT ASSEMBLIES		\$ -	\$ -
SIDING		\$ -	\$ -
<b>08.00.00 - OPENINGS:</b>			
DOORS, FRAMES & HW	7.89%	\$ 33,820	\$ 5.37 /SF
OVERHEAD COILING DOORS	0.70%	\$ 3,000	\$ 0.48 /SF
GLASS & GLAZING		\$ -	\$ -
<b>09.00.00 - FINISHES:</b>			
FRAMING, DRYWALL, GFRG & FRP	6.17%	\$ 26,452	\$ 4.20 /SF
GRID CEILING SYSTEMS	1.78%	\$ 7,636	\$ 1.21 /SF
CERAMIC TILE		\$ -	\$ -
RESILIENT FLOORING & CARPET	6.60%	\$ 28,309	\$ 4.49 /SF
ATHLETIC FLOORING	7.89%	\$ 33,840	\$ 5.37 /SF
PAINT	2.94%	\$ 12,614	\$ 2.00 /SF
<b>10.00.00 - SPECIALTIES:</b>			
TOILET PARTITIONS		\$ -	\$ -
TOILET ACCESSORIES		\$ -	\$ -
FIRE PROTECTION SPECIALTIES	0.17%	\$ 743	\$ 0.12 /SF
SIGNAGE / IDENTIFICATION DEVICES	0.28%	\$ 1,200	\$ 0.19 /SF
UNIT LOCKERS		\$ -	\$ -
OPERABLE PARTITIONS		\$ -	\$ -
<b>11.00.00 - EQUIPMENT:</b>			
FOOD SERVICE EQUIPMENT		\$ -	\$ -
SHOOTING RANGE EQUIPMENT		\$ -	\$ -
RESIDENTIAL APPLIANCES		\$ -	\$ -
THEATRICAL EQUIPMENT		\$ -	\$ -
<b>12.00.00 - FURNISHINGS:</b>			
PEMB		\$ -	\$ -
<b>14.00.00 - CONVEYING EQUIPMENT:</b>			
ELEVATORS		\$ -	\$ -
<b>21.00.00 - FIRE SUPPRESSION:</b>			
FIRE SPRINKLER	2.72%	\$ 11,655	\$ 1.85 /SF
<b>22.00.00 - PLUMBING:</b>			
PLUMBING	2.61%	\$ 11,200	\$ 1.78 /SF
<b>23.00.00 - HEATING, VENTILATING &amp; AIR-CONDITIONING</b>			
HVAC	25.34%	\$ 108,671	\$ 17.25 /SF
<b>26.00.00 - ELECTRICAL:</b>			
ELECTRICAL	19.76%	\$ 84,735	\$ 13.45 /SF
FIRE ALARM	3.31%	\$ 14,175	\$ 2.25 /SF
<b>27.00.00 - LOW VOLTAGE:</b>			
TELEDATA	9.40%	\$ 40,310	\$ 6.40 /SF
SECURITY & ACCESS CONTROL	1.17%	\$ 5,000	\$ 0.79 /SF
AUDIO-VISUAL		\$ -	\$ -
<b>31.00.00 - EARTHWORK:</b>			
EARTHWORK		\$ -	\$ -
<b>32.00.00 - EXTERIOR IMPROVEMENTS:</b>			
BITUMINOUS PAVING		\$ -	\$ -
PAVEMENT MARKINGS		\$ -	\$ -
SITE CONCRETE		\$ -	\$ -
LANDSCAPING / IRRIGATION		\$ -	\$ -
<b>33.00.00 - UTILITIES:</b>			
SITE UTILITIES		\$ -	\$ -
<b>SUBTOTAL:</b>		<b>\$ 428,893</b>	<b>\$ 68.08 /SF</b>
BUILDER'S RISK INSURANCE:	0.14%	\$ 825	\$ 0.13 /SF
GENERAL LIABILITY INSURANCE:	0.65%	\$ 3,718	\$ 0.59 /SF
GENERAL CONTRACTOR BOND:	0.57%	\$ 3,239	\$ 0.51 /SF
PROJECT ESCALATION:	8.47%	\$ 37,000	\$ 5.87 /SF
DRAWING DEV. CONTINGENCY:	15.00%	\$ 71,051	\$ 11.28 /SF
GENERAL CONTRACTOR FEE:	5.00%	\$ 27,236	\$ 4.32 /SF
<b>TOTAL:</b>		<b>\$ 571,962</b>	<b>\$ 90.79 /SF</b>



Estimate dated: May 5, 2020

Description		Estimate	Price per SF
<b>01.00.00 - GENERAL REQUIREMENTS:</b>			
GENERAL CONDITIONS	19.92%	\$ 56,669	\$ 22.92 /SF
DEMOLITION		\$ -	\$ -
<b>03.00.00 - CONCRETE:</b>			
CIP AND TILT-UP CONCRETE & REBAR		\$ -	\$ -
<b>04.00.00 - MASONRY:</b>			
UNIT MASONRY		\$ -	\$ -
<b>05.00.00 - METALS:</b>			
STRUCTURAL STEEL / MISC. METALS / METAL C		\$ -	\$ -
<b>06.00.00 - WOOD, PLASTICS &amp; COMPOSITES:</b>			
ROUGH CARPENTRY	2.85%	\$ 8,095	\$ 3.27 /SF
MILLWORK & TRIM	6.41%	\$ 18,240	\$ 7.38 /SF
<b>07.00.00 - THERMAL &amp; MOISTURE PROTECTION:</b>			
WATERPROOFING & CAULKING		\$ -	\$ -
BUILDING INSULATION		\$ -	\$ -
ROOFING		\$ -	\$ -
EXPANSION JOINT ASSEMBLIES		\$ -	\$ -
SIDING		\$ -	\$ -
<b>08.00.00 - OPENINGS:</b>			
DOORS, FRAMES & HW	8.92%	\$ 25,365	\$ 10.26 /SF
OVERHEAD COILING DOORS		\$ -	\$ -
GLASS & GLAZING		\$ -	\$ -
<b>09.00.00 - FINISHES:</b>			
FRAMING, DRYWALL, GFRG & FRP	2.55%	\$ 7,262	\$ 2.94 /SF
GRID CEILING SYSTEMS		\$ -	\$ -
CERAMIC TILE		\$ -	\$ -
RESILIENT FLOORING & CARPET	5.66%	\$ 16,113	\$ 6.52 /SF
ATHLETIC FLOORING	11.89%	\$ 33,840	\$ 13.69 /SF
PAINT	4.43%	\$ 12,614	\$ 5.10 /SF
<b>10.00.00 - SPECIALTIES:</b>			
TOILET PARTITIONS		\$ -	\$ -
TOILET ACCESSORIES		\$ -	\$ -
FIRE PROTECTION SPECIALTIES	0.26%	\$ 743	\$ 0.30 /SF
SIGNAGE / IDENTIFICATION DEVICES	0.42%	\$ 1,200	\$ 0.49 /SF
UNIT LOCKERS		\$ -	\$ -
OPERABLE PARTITIONS		\$ -	\$ -
<b>11.00.00 - EQUIPMENT:</b>			
FOOD SERVICE EQUIPMENT		\$ -	\$ -
SHOOTING RANGE EQUIPMENT		\$ -	\$ -
RESIDENTIAL APPLIANCES		\$ -	\$ -
THEATRICAL EQUIPMENT		\$ -	\$ -
<b>12.00.00 - FURNISHINGS:</b>			
PEMB		\$ -	\$ -
<b>14.00.00 - CONVEYING EQUIPMENT:</b>			
ELEVATORS		\$ -	\$ -
<b>21.00.00 - FIRE SUPPRESSION:</b>			
FIRE SPRINKLER	1.61%	\$ 4,573	\$ 1.85 /SF
<b>22.00.00 - PLUMBING:</b>			
PLUMBING	0.19%	\$ 550	\$ 0.22 /SF
<b>23.00.00 - HEATING, VENTILATING &amp; AIR-CONDITIONING</b>			
HVAC	15.24%	\$ 43,372	\$ 17.55 /SF
<b>26.00.00 - ELECTRICAL:</b>			
ELECTRICAL	11.69%	\$ 33,248	\$ 13.45 /SF
FIRE ALARM	1.95%	\$ 5,562	\$ 2.25 /SF
<b>27.00.00 - LOW VOLTAGE:</b>			
TELEDATA	4.24%	\$ 12,068	\$ 4.88 /SF
SECURITY & ACCESS CONTROL	1.76%	\$ 5,000	\$ 2.02 /SF
AUDIO-VISUAL		\$ -	\$ -
<b>31.00.00 - EARTHWORK:</b>			
EARTHWORK		\$ -	\$ -
<b>32.00.00 - EXTERIOR IMPROVEMENTS:</b>			
BITUMINOUS PAVING		\$ -	\$ -
PAVEMENT MARKINGS		\$ -	\$ -
SITE CONCRETE		\$ -	\$ -
LANDSCAPING / IRRIGATION		\$ -	\$ -
<b>33.00.00 - UTILITIES:</b>			
SITE UTILITIES		\$ -	\$ -
<b>SUBTOTAL:</b>		<b>\$ 284,514</b>	<b>\$ 115.09 /SF</b>
BUILDER'S RISK INSURANCE:	0.14%	\$ 547	\$ 0.22 /SF
GENERAL LIABILITY INSURANCE:	0.65%	\$ 2,466	\$ 1.00 /SF
GENERAL CONTRACTOR BOND:	0.57%	\$ 2,149	\$ 0.87 /SF
PROJECT ESCALATION:	8.47%	\$ 24,600	\$ 9.95 /SF
DRAWING DEV. CONTINGENCY:	15.00%	\$ 47,141	\$ 19.07 /SF
GENERAL CONTRACTOR FEE:	5.00%	\$ 18,071	\$ 7.31 /SF
<b>TOTAL:</b>		<b>\$ 379,489</b>	<b>\$ 153.51 /SF</b>



WLEA Feasibility Study Existing Site

Job Duration (Months): 24.03 Months  
 Area Square Footage: 29,369 SF

Area: Area 06 - Existing Firearms Training and Supp

Estimate dated: May 5, 2020

Description		Estimate	Price per SF
<b>01.00.00 - GENERAL REQUIREMENTS:</b>			
GENERAL CONDITIONS	8.21%	\$ 460,079	\$ 15.67 /SF
DEMOLITION		\$ -	\$ -
<b>03.00.00 - CONCRETE:</b>			
CIP AND TILT-UP CONCRETE & REBAR	20.57%	\$ 1,152,959	\$ 39.26 /SF
<b>04.00.00 - MASONRY:</b>			
UNIT MASONRY		\$ -	\$ -
<b>05.00.00 - METALS:</b>			
STRUCTURAL STEEL / MISC. METALS / METAL C	7.79%	\$ 436,763	\$ 14.87 /SF
<b>06.00.00 - WOOD, PLASTICS &amp; COMPOSITES:</b>			
ROUGH CARPENTRY	0.06%	\$ 3,507	\$ 0.12 /SF
MILLWORK & TRIM	0.17%	\$ 9,600	\$ 0.33 /SF
<b>07.00.00 - THERMAL &amp; MOISTURE PROTECTION:</b>			
WATERPROOFING & CAULKING		\$ -	\$ -
BUILDING INSULATION	0.73%	\$ 41,147	\$ 1.40 /SF
ROOFING	4.82%	\$ 270,149	\$ 9.20 /SF
EXPANSION JOINT ASSEMBLIES		\$ -	\$ -
SIDING	1.85%	\$ 103,932	\$ 3.54 /SF
<b>08.00.00 - OPENINGS:</b>			
DOORS, FRAMES & HW	0.35%	\$ 19,650	\$ 0.67 /SF
OVERHEAD COILING DOORS	0.05%	\$ 3,000	\$ 0.10 /SF
GLASS & GLAZING		\$ -	\$ -
<b>09.00.00 - FINISHES:</b>			
FRAMING, DRYWALL, GFRG & FRP	0.68%	\$ 38,056	\$ 1.30 /SF
GRID CEILING SYSTEMS	0.24%	\$ 13,610	\$ 0.46 /SF
CERAMIC TILE	0.16%	\$ 9,063	\$ 0.31 /SF
RESILIENT FLOORING & CARPET	0.30%	\$ 17,003	\$ 0.58 /SF
ATHLETIC FLOORING		\$ -	\$ -
PAINT	0.33%	\$ 18,619	\$ 0.63 /SF
<b>10.00.00 - SPECIALTIES:</b>			
TOILET PARTITIONS		\$ -	\$ -
TOILET ACCESSORIES	0.04%	\$ 1,964	\$ 0.07 /SF
FIRE PROTECTION SPECIALTIES	0.03%	\$ 1,733	\$ 0.06 /SF
SIGNAGE / IDENTIFICATION DEVICES	0.01%	\$ 750	\$ 0.03 /SF
UNIT LOCKERS	0.12%	\$ 6,875	\$ 0.23 /SF
OPERABLE PARTITIONS		\$ -	\$ -
<b>11.00.00 - EQUIPMENT:</b>			
FOOD SERVICE EQUIPMENT		\$ -	\$ -
SHOOTING RANGE EQUIPMENT	22.64%	\$ 1,269,000	\$ 43.21 /SF
RESIDENTIAL APPLIANCES		\$ -	\$ -
THEATRICAL EQUIPMENT		\$ -	\$ -
<b>12.00.00 - FURNISHINGS:</b>			
PEMB		\$ -	\$ -
<b>14.00.00 - CONVEYING EQUIPMENT:</b>			
ELEVATORS		\$ -	\$ -
<b>21.00.00 - FIRE SUPPRESSION:</b>			
FIRE SPRINKLER	2.17%	\$ 121,881	\$ 4.15 /SF
<b>22.00.00 - PLUMBING:</b>			
PLUMBING	3.53%	\$ 197,971	\$ 6.74 /SF
<b>23.00.00 - HEATING, VENTILATING &amp; AIR-CONDITIONING</b>			
HVAC	1.10%	\$ 61,700	\$ 2.10 /SF
<b>26.00.00 - ELECTRICAL:</b>			
ELECTRICAL	7.48%	\$ 419,213	\$ 14.27 /SF
FIRE ALARM	1.18%	\$ 66,080	\$ 2.25 /SF
<b>27.00.00 - LOW VOLTAGE:</b>			
TELEDATA	2.57%	\$ 144,234	\$ 4.91 /SF
SECURITY & ACCESS CONTROL	0.49%	\$ 27,400	\$ 0.93 /SF
AUDIO-VISUAL		\$ -	\$ -
<b>31.00.00 - EARTHWORK:</b>			
EARTHWORK	9.08%	\$ 508,808	\$ 17.32 /SF
<b>32.00.00 - EXTERIOR IMPROVEMENTS:</b>			
BITUMINOUS PAVING		\$ -	\$ -
PAVEMENT MARKINGS	0.10%	\$ 5,500	\$ 0.19 /SF
SITE CONCRETE	0.35%	\$ 19,408	\$ 0.66 /SF
LANDSCAPING / IRRIGATION	0.14%	\$ 7,673	\$ 0.26 /SF
<b>33.00.00 - UTILITIES:</b>			
SITE UTILITIES	2.63%	\$ 147,250	\$ 5.01 /SF
<b>SUBTOTAL:</b>		<b>\$ 5,604,576</b>	<b>\$ 190.83 /SF</b>
BUILDER'S RISK INSURANCE:	0.14%	\$ 10,777	\$ 0.37 /SF
GENERAL LIABILITY INSURANCE:	0.65%	\$ 48,581	\$ 1.65 /SF
GENERAL CONTRACTOR BOND:	0.57%	\$ 42,332	\$ 1.44 /SF
PROJECT ESCALATION:	8.47%	\$ 483,400	\$ 16.46 /SF
DRAWING DEV. CONTINGENCY:	15.00%	\$ 928,450	\$ 31.61 /SF
GENERAL CONTRACTOR FEE:	5.00%	\$ 355,906	\$ 12.12 /SF
<b>TOTAL:</b>		<b>\$ 7,474,022</b>	<b>\$ 254.49 /SF</b>



WLEA Feasibility Study Existing Site

Job Duration (Months): 24.03 Months  
 Area Square Footage: 44,734 SF

Area: Area 07 - Existing Tactical Village Training

Estimate dated: May 5, 2020

Description		Estimate	Price per SF
<b>01.00.00 - GENERAL REQUIREMENTS:</b>			
GENERAL CONDITIONS	15.08%	\$ 490,751	\$ 10.97 /SF
DEMOLITION		\$ -	\$ -
<b>03.00.00 - CONCRETE:</b>			
CIP AND TILT-UP CONCRETE & REBAR	12.85%	\$ 418,047	\$ 9.35 /SF
<b>04.00.00 - MASONRY:</b>			
UNIT MASONRY	4.05%	\$ 131,760	\$ 2.95 /SF
<b>05.00.00 - METALS:</b>			
STRUCTURAL STEEL / MISC. METALS / METAL C	5.40%	\$ 175,868	\$ 3.93 /SF
<b>06.00.00 - WOOD, PLASTICS &amp; COMPOSITES:</b>			
ROUGH CARPENTRY	17.62%	\$ 573,494	\$ 12.82 /SF
MILLWORK & TRIM	1.77%	\$ 57,450	\$ 1.28 /SF
<b>07.00.00 - THERMAL &amp; MOISTURE PROTECTION:</b>			
WATERPROOFING & CAULKING		\$ -	\$ -
BUILDING INSULATION		\$ -	\$ -
ROOFING	2.01%	\$ 65,299	\$ 1.46 /SF
EXPANSION JOINT ASSEMBLIES		\$ -	\$ -
SIDING	1.88%	\$ 61,302	\$ 1.37 /SF
<b>08.00.00 - OPENINGS:</b>			
DOORS, FRAMES & HW	2.34%	\$ 76,256	\$ 1.70 /SF
OVERHEAD COILING DOORS		\$ -	\$ -
GLASS & GLAZING	3.38%	\$ 109,968	\$ 2.46 /SF
<b>09.00.00 - FINISHES:</b>			
FRAMING, DRYWALL, GFRG & FRP	2.61%	\$ 85,034	\$ 1.90 /SF
GRID CEILING SYSTEMS	1.78%	\$ 57,960	\$ 1.30 /SF
CERAMIC TILE		\$ -	\$ -
RESILIENT FLOORING & CARPET		\$ -	\$ -
ATHLETIC FLOORING		\$ -	\$ -
PAINT	1.28%	\$ 41,607	\$ 0.93 /SF
<b>10.00.00 - SPECIALTIES:</b>			
TOILET PARTITIONS	0.07%	\$ 2,120	\$ 0.05 /SF
TOILET ACCESSORIES		\$ -	\$ -
FIRE PROTECTION SPECIALTIES		\$ -	\$ -
SIGNAGE / IDENTIFICATION DEVICES		\$ -	\$ -
UNIT LOCKERS		\$ -	\$ -
OPERABLE PARTITIONS		\$ -	\$ -
<b>11.00.00 - EQUIPMENT:</b>			
FOOD SERVICE EQUIPMENT		\$ -	\$ -
SHOOTING RANGE EQUIPMENT		\$ -	\$ -
RESIDENTIAL APPLIANCES		\$ -	\$ -
THEATRICAL EQUIPMENT		\$ -	\$ -
<b>12.00.00 - FURNISHINGS:</b>			
PEMB		\$ -	\$ -
<b>14.00.00 - CONVEYING EQUIPMENT:</b>			
ELEVATORS		\$ -	\$ -
<b>21.00.00 - FIRE SUPPRESSION:</b>			
FIRE SPRINKLER		\$ -	\$ -
<b>22.00.00 - PLUMBING:</b>			
PLUMBING	0.14%	\$ 4,450	\$ 0.10 /SF
<b>23.00.00 - HEATING, VENTILATING &amp; AIR-CONDITIONING</b>			
HVAC		\$ -	\$ -
<b>26.00.00 - ELECTRICAL:</b>			
ELECTRICAL	4.47%	\$ 145,409	\$ 3.25 /SF
FIRE ALARM		\$ -	\$ -
<b>27.00.00 - LOW VOLTAGE:</b>			
TELEDATA		\$ -	\$ -
SECURITY & ACCESS CONTROL		\$ -	\$ -
AUDIO-VISUAL		\$ -	\$ -
<b>31.00.00 - EARTHWORK:</b>			
EARTHWORK	4.30%	\$ 140,017	\$ 3.13 /SF
<b>32.00.00 - EXTERIOR IMPROVEMENTS:</b>			
BITUMINOUS PAVING		\$ -	\$ -
PAVEMENT MARKINGS	0.56%	\$ 18,075	\$ 0.40 /SF
SITE CONCRETE	14.85%	\$ 483,213	\$ 10.80 /SF
LANDSCAPING / IRRIGATION		\$ -	\$ -
<b>33.00.00 - UTILITIES:</b>			
SITE UTILITIES	3.56%	\$ 115,900	\$ 2.59 /SF
<b>SUBTOTAL:</b>		<b>\$ 3,253,980</b>	<b>\$ 72.74 /SF</b>
BUILDER'S RISK INSURANCE:	0.14%	\$ 6,257	\$ 0.14 /SF
GENERAL LIABILITY INSURANCE:	0.65%	\$ 28,206	\$ 0.63 /SF
GENERAL CONTRACTOR BOND:	0.57%	\$ 24,578	\$ 0.55 /SF
PROJECT ESCALATION:	8.47%	\$ 280,700	\$ 6.27 /SF
DRAWING DEV. CONTINGENCY:	15.00%	\$ 539,058	\$ 12.05 /SF
GENERAL CONTRACTOR FEE:	5.00%	\$ 206,639	\$ 4.62 /SF
<b>TOTAL:</b>		<b>\$ 4,339,418</b>	<b>\$ 97.00 /SF</b>



Estimate dated: May 5, 2020

Description		Estimate	Price per SF
<b>01.00.00 - GENERAL REQUIREMENTS:</b>			
GENERAL CONDITIONS	4.78%	\$ 613,439	\$ 62.40 /SF
DEMOLITION		\$ -	\$ -
<b>03.00.00 - CONCRETE:</b>			
CIP AND TILT-UP CONCRETE & REBAR		\$ -	\$ -
<b>04.00.00 - MASONRY:</b>			
UNIT MASONRY		\$ -	\$ -
<b>05.00.00 - METALS:</b>			
STRUCTURAL STEEL / MISC. METALS / METAL C		\$ -	\$ -
<b>06.00.00 - WOOD, PLASTICS &amp; COMPOSITES:</b>			
ROUGH CARPENTRY		\$ -	\$ -
MILLWORK & TRIM		\$ -	\$ -
<b>07.00.00 - THERMAL &amp; MOISTURE PROTECTION:</b>			
WATERPROOFING & CAULKING		\$ -	\$ -
BUILDING INSULATION		\$ -	\$ -
ROOFING		\$ -	\$ -
EXPANSION JOINT ASSEMBLIES		\$ -	\$ -
SIDING		\$ -	\$ -
<b>08.00.00 - OPENINGS:</b>			
DOORS, FRAMES & HW		\$ -	\$ -
OVERHEAD COILING DOORS		\$ -	\$ -
GLASS & GLAZING		\$ -	\$ -
<b>09.00.00 - FINISHES:</b>			
FRAMING, DRYWALL, GFRG & FRP		\$ -	\$ -
GRID CEILING SYSTEMS		\$ -	\$ -
CERAMIC TILE		\$ -	\$ -
RESILIENT FLOORING & CARPET		\$ -	\$ -
ATHLETIC FLOORING		\$ -	\$ -
PAINT		\$ -	\$ -
<b>10.00.00 - SPECIALTIES:</b>			
TOILET PARTITIONS		\$ -	\$ -
TOILET ACCESSORIES		\$ -	\$ -
FIRE PROTECTION SPECIALTIES		\$ -	\$ -
SIGNAGE / IDENTIFICATION DEVICES		\$ -	\$ -
UNIT LOCKERS		\$ -	\$ -
OPERABLE PARTITIONS		\$ -	\$ -
<b>11.00.00 - EQUIPMENT:</b>			
FOOD SERVICE EQUIPMENT		\$ -	\$ -
SHOOTING RANGE EQUIPMENT		\$ -	\$ -
RESIDENTIAL APPLIANCES		\$ -	\$ -
THEATRICAL EQUIPMENT		\$ -	\$ -
<b>12.00.00 - FURNISHINGS:</b>			
PEMB	8.72%	\$ 1,119,800	\$ 113.92 /SF
<b>14.00.00 - CONVEYING EQUIPMENT:</b>			
ELEVATORS		\$ -	\$ -
<b>21.00.00 - FIRE SUPPRESSION:</b>			
FIRE SPRINKLER		\$ -	\$ -
<b>22.00.00 - PLUMBING:</b>			
PLUMBING		\$ -	\$ -
<b>23.00.00 - HEATING, VENTILATING &amp; AIR-CONDITIONING</b>			
HVAC		\$ -	\$ -
<b>26.00.00 - ELECTRICAL:</b>			
ELECTRICAL		\$ -	\$ -
FIRE ALARM		\$ -	\$ -
<b>27.00.00 - LOW VOLTAGE:</b>			
TELEDATA		\$ -	\$ -
SECURITY & ACCESS CONTROL		\$ -	\$ -
AUDIO-VISUAL		\$ -	\$ -
<b>31.00.00 - EARTHWORK:</b>			
EARTHWORK	62.33%	\$ 8,005,893	\$ 814.43 /SF
<b>32.00.00 - EXTERIOR IMPROVEMENTS:</b>			
BITUMINOUS PAVING	2.20%	\$ 282,529	\$ 28.74 /SF
PAVEMENT MARKINGS	0.06%	\$ 7,600	\$ 0.77 /SF
SITE CONCRETE	10.85%	\$ 1,393,800	\$ 141.79 /SF
LANDSCAPING / IRRIGATION	2.62%	\$ 336,000	\$ 34.18 /SF
<b>33.00.00 - UTILITIES:</b>			
SITE UTILITIES	3.56%	\$ 456,640	\$ 46.45 /SF
<b>SUBTOTAL:</b>		<b>\$ 12,844,302</b>	<b>\$ 1,306.64 /SF</b>
BUILDER'S RISK INSURANCE:	0.14%	\$ 24,699	\$ 2.51 /SF
GENERAL LIABILITY INSURANCE:	0.65%	\$ 111,335	\$ 11.33 /SF
GENERAL CONTRACTOR BOND:	0.57%	\$ 97,015	\$ 9.87 /SF
PROJECT ESCALATION:	8.47%	\$ 1,107,700	\$ 112.69 /SF
DRAWING DEV. CONTINGENCY:	15.00%	\$ 2,127,758	\$ 216.46 /SF
GENERAL CONTRACTOR FEE:	5.00%	\$ 815,640	\$ 82.97 /SF
<b>TOTAL:</b>		<b>\$ 17,128,448</b>	<b>\$ 1,742.47 /SF</b>



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces</b>					
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					
Include Full-time Supervision, Project Engineering & Project Management. Include Jobsite Trailer. Include Temporary Facilities. Include Dumpsters and Temporary Fencing. Include Jobsite Safety Provisions and Surveys. Include Forklift and Major Equipment.	17	WKS	\$ 14,167.19	\$ 245,376	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					\$ 245,376
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 01.01.00 - DEMOLITION</b>					
Cut concrete slab for new sewer lines	26	LF	\$ 35.00	\$ 910	
Demo exterior Brick	1,305	SF	\$ 4.10	\$ 5,351	
Demo existing Drywall and Metal Framed Walls	4,020	SF	\$ .74	\$ 2,975	
Remove and Dispose of Flooring and Prep Concrete for New Flooring	8,924	SF	\$ 1.15	\$ 10,263	
Remove and Dispose of ACT	8,924	SF	\$ .35	\$ 3,123	
Demo CMU Walls	430	SF	\$ 4.10	\$ 1,763	
Shoring Allowance	1	ALLOW	\$ 10,000.00	\$ 10,000	
Saw Cut Perimeter floor	86	LF	\$ 35.00	\$ 3,010	
Dispose of Waste	139	CY	\$ 35.00	\$ 4,855	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 01.01.00 - DEMOLITION</b>					\$ 42,249
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					
Include Rebar for Linear Footings	191	LF	\$ 4.00	\$ 764	
Purchase & Place Concrete - Linear Footings	27	CY	\$ 160.00	\$ 4,244	
Include Rebar for New Stem Walls	344	SF	\$ 2.45	\$ 843	
Purchase & Place Concrete - Stem Walls	9	CY	\$ 654.00	\$ 5,939	
Include Rebar for Spread Footings	4	EA	\$ 600.00	\$ 2,400	
Drill for rebar dowels along perimeter of cuts and rebar / epoxy in place	112	LF	\$ 25.00	\$ 2,800	
Include Concrete Slab on Grade	3,039	SF	\$ 8.60	\$ 26,135	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					\$ 43,126
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 04.01.00 - UNIT MASONRY</b>					
Include Exterior Brick - Exterior Finishes patching and repointing (allowance)	2,865	SF	\$ 26.00	\$ 74,490	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 04.01.00 - UNIT MASONRY</b>					\$ 74,490
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					
Include Structural Steel	3,000	SF	\$ 5.30	\$ 15,900	
Furnish and Erect Metal Decking (Roofing)	3,000	SF	\$ 5.65	\$ 16,950	
Furnish and Erect Metal Joists	3,000	SF	\$ 6.75	\$ 20,250	
Include Connections, Embeds and Plates	1	TONS	\$ 3,050.00	\$ 2,885	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					\$ 55,985
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					
Include In-wall Wood Blocking for Cabinetry, Specialties, Glazing, and Parapet	650	LF	\$ 4.61	\$ 2,997	
Include Treated Plywood - Tele Data Room	120	SF	\$ 4.25	\$ 510	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					\$ 3,507
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					
Include Plam Cabinetry Uppers	25	LF	\$ 290.00	\$ 7,250	
Include Plam Cabinet Lower includes plam countertop	95	LF	\$ 480.00	\$ 45,600	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					\$ 52,850
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 07.01.00 - WATERPROOFING &amp; CAULKING</b>					
Include Caulking for Windows that may be damaged - remove and apply new	1	Allow	\$ 8,000.00	\$ 8,000	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 07.01.00 - WATERPROOFING &amp; CAULKING</b>					\$ 8,000
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 07.02.00 - BUILDING INSULATION</b>					



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
Furnish & Install Rigid Insulation - Foundation and Metal Stud Walls	2,865	SF	\$ 2.66	\$ 7,621	
Include Acoustical Batt Insulation integral to Interior Partitions.	11,400	SF	\$ 1.25	\$ 14,250	
Furnish & Install Thermal Batt Insulation - Exterior Walls.	2,865	SF	\$ 2.80	\$ 8,022	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 07.02.00 - BUILDING INSULATION</b>					\$ 29,893
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 07.03.00 - ROOFING</b>					
Include TPO Membrane System. Include Tapered Rigid Insulation. Include Protection Board. Include Walkpads. Include Roofing at Reverse-side of Parapet Walls. Include Integral Flashings, Reglets & Scuppers.	3,000	SF	\$ 8.90	\$ 26,700	
Patch into existing roof	1	ALLOW	\$ 10,000.00	\$ 10,000	
Include Roofing Parapet Cap	191	LF	\$ 12.45	\$ 2,378	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 07.03.00 - ROOFING</b>					\$ 39,078
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 07.04.00 - EXPANSION JOINT ASSEMBLIES</b>					
Include New Expansion Covers Interior and Exterior	1	ALLOW	\$ 5,000.00	\$ 5,000	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 07.04.00 - EXPANSION JOINT ASSEMBLIES</b>					\$ 5,000
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					
Furnish & Install Door Hardware Sets.	36	SETS	\$ 840.00	\$ 30,240	
Furnish WD Panel Doors	36	LEAF	\$ 603.75	\$ 21,735	
Furnish HM Door Frames	36	EA	\$ 420.00	\$ 15,120	
Install (Swing) HM & WD Door Panels.	36	LEAF	\$ 250.00	\$ 9,000	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					\$ 76,095
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 08.02.00 - OVERHEAD COILING DOORS</b>					
Motorized Overhead Coiling Steel Door - Reception	24	SF	\$ 65.00	\$ 1,560	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 08.02.00 - OVERHEAD COILING DOORS</b>					\$ 1,560
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 08.03.00 - GLASS &amp; GLAZING</b>					
Aluminum Storefront Double Pane	764	SF	\$ 65.00	\$ 49,660	
Skylights	16	SF	\$ 85.50	\$ 1,368	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 08.03.00 - GLASS &amp; GLAZING</b>					\$ 51,028
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					
Construct Interior Gyp. Board Partitions - Non-rated.	11,400	SF	\$ 6.75	\$ 76,950	
Include Framing, Sheathing and Gyp Board- Exterior Walls.	2,865	SF	\$ 8.75	\$ 25,069	
Furnish and Install Gyp Board at Restroom and Custodial Area	270	SF	\$ 6.20	\$ 1,674	
Install HM Door Frames	39	EA	\$ 175.00	\$ 6,825	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					\$ 110,518
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					
Furnish New Grid and Ceiling Tiles	8,924	SF	\$ 4.60	\$ 41,050	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					\$ 41,050
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.05.00 - CERAMIC TILE</b>					
Include Floor Tile in Restrooms	27	SF	\$ 11.00	\$ 297	
Include Wall Tile in Restrooms	570	SF	\$ 18.00	\$ 10,260	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.05.00 - CERAMIC TILE</b>					\$ 10,557
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					
Furnish & Install Carpet Flooring	962	SY	\$ 50.40	\$ 48,462	
Furnish & Install Resilient Base	1,900	LF	\$ 2.55	\$ 4,845	
Include Flooring Transitions	1	Lot	\$ 500.00	\$ 500	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					\$ 53,807
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.08.00 - PAINT</b>					
Include Paint Interior and Exterior Walls	25,665	SF	\$ 1.80	\$ 46,197	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 09.08.00 - PAINT</b>					\$ 46,197



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 10.03.00 - TOILET PARTITIONS</b>					
Furnish and Install Toilet Partitions	3	STALL	\$ 900.00	\$ 2,700	
Furnish and Install Urinal Screens	1	STALL	\$ 320.00	\$ 320	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 10.03.00 - TOILET PARTITIONS</b>					\$ 3,020
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 10.04.00 - TOILET ACCESSORIES</b>					
Furnish & Install Hand Dryers with Recess Kits.	2	EA	\$ 512.00	\$ 1,024	
Furnish & Install Toilet Tissue Dispensers.	3	EA	\$ 75.00	\$ 225	
Furnish & Install Grab Bars.	6	EA	\$ 90.00	\$ 540	
Furnish & Install Framed Mirrors	2	EA	\$ 125.00	\$ 250	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 10.04.00 - TOILET ACCESSORIES</b>					\$ 2,039
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					
Furnish & Install Rated Fire Extinguisher Cabinets. Include Decals.	3	EA	\$ 247.50	\$ 743	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					\$ 743
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					
Furnish & Install Panel Signs. Signs shall be ADA Compliant. Include Room Identification Signage.	39	LOC	\$ 75.00	\$ 2,925	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					\$ 2,925
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 21.00.00 - FIRE SPRINKLER</b>					
Refit of existing system in specific areas	8,924	SF	\$ 1.85	\$ 16,509	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 21.00.00 - FIRE SPRINKLER</b>					\$ 16,509
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 22.00.00 - PLUMBING</b>					
Plumbing rough-in for Baths	1	LS	\$ 7,500.00	\$ 7,500	
Wall Mounted Lavatory	4	EA	\$ 1,450.00	\$ 5,800	
Hose Bibs	1	EA	\$ 970.00	\$ 970	
Fixture Allowance	4	EA	\$ 435.00	\$ 1,740	
Drinking Fountains	1	EA	\$ 1,850.00	\$ 1,850	
Floor Drains	2	EA	\$ 450.00	\$ 900	
Toilet	3	EA	\$ 1,650.00	\$ 4,950	
Urinals	1	EA	\$ 1,070.00	\$ 1,070	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 22.00.00 - PLUMBING</b>					\$ 24,780
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 23.00.00 - HVAC</b>					
Include VAV Boxes	6	EA	\$ 1,700.00	\$ 10,200	
Include Bath Exhaust Fans	1	EA	\$ 450.00	\$ 450	
Include All New Ductwork	8,924	SF	\$ 5.75	\$ 51,313	
Include Cleaning Existing Grills and Registers	8,924	SF	\$ .25	\$ 2,231	
Include All New 4 Pipe Copper Lines for HVAC	8,924	SF	\$ 4.80	\$ 42,835	
Include Automatic HVAC Temperature Controls	8,924	SF	\$ 5.12	\$ 45,691	
Test and Balance the Systems	8,924	SF	\$ .25	\$ 2,231	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 23.00.00 - HVAC</b>					\$ 154,951
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 26.01.00 - ELECTRICAL</b>					
Include Indoor LED Lighting Fixtures, Fixture Supports, Lighting Controls and Switches	8,924	SF	\$ 9.10	\$ 81,208	
Branch Panels	1	LS	\$ 8,500.00	\$ 8,500	
Panel Feeders	1	LS	\$ 3,500.00	\$ 3,500	
Power Plan and Branch Circuitry	8,924	SF	\$ 4.35	\$ 38,819	
Exterior Lighting - Wall Mounted	4	EA	\$ 650.00	\$ 2,600	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 26.01.00 - ELECTRICAL</b>					\$ 134,628
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 26.02.00 - FIRE ALARM</b>					
Include Fire Alarm Detection and Notification Systems	8,924	SF	\$ 2.25	\$ 20,079	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 26.02.00 - FIRE ALARM</b>					\$ 20,079
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 27.01.00 - TELEDATA</b>					
Include VOIP Phones	39	EA	\$ 450.00	\$ 17,550	
Network Switches	1	EA	\$ 3,500.00	\$ 3,500	
Structured Cabling with Network Outlets/ Server Racks and Equipment	8,924	SF	\$ 3.50	\$ 31,234	
Include Paging System	8,924	SF	\$ 1.20	\$ 10,709	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 27.01.00 - TELEDATA</b>					\$ 62,993



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					
Include Security / Access Control System	1	EA	\$ 2,000.00	\$ 2,000	
Include Card Readers.	3	EA	\$ 2,500.00	\$ 7,500	
Include CCTV System	2	EA	\$ 2,500.00	\$ 5,000	
Include Security Door Contacts	3	EA	\$ 200.00	\$ 600	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					\$ 15,100
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 27.03.00 - AUDIO-VISUAL</b>					
Furnish & Install Conference Room AV Equipment	1	EA	\$ 5,000.00	\$ 5,000	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 27.03.00 - AUDIO-VISUAL</b>					\$ 5,000
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 31.02.00 - EARTHWORK</b>					
Excavate Building Footprint and Construct Building Pad using Select Structural Fill (Assumed to be on-site). Excavate to allow for a 48" layer of select fill with a 5'-0" off-set. Include Proof-roll, scarify, compact, and install select fill (10-20 PI) in 9" lifts compacted to 95%.	8,924	SF	\$ 3.13	\$ 27,932	
Include Helical Piers	1	LS	\$ 91,200.00	\$ 91,200	
Excavate Berm Around Existing Wall	239	CY	\$ 18.00	\$ 4,300	
Build Berm Around New Wall to match existing	531	CY	\$ 18.00	\$ 9,550	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 31.02.00 - EARTHWORK</b>					\$ 132,982
<b>Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 32.06.00 - LANDSCAPING / IRRIGATION</b>					
Include Automatic Irrigation System.	4,775	SF	\$ .58	\$ 2,770	
Include Dry Scape Areas with Weed Prevention	573	SF	\$ 2.65	\$ 1,518	
Sod Grass Areas	4,202	SF	\$ .82	\$ 3,446	
Include Plantings - 3 gallon	38	EA	\$ 25.00	\$ 955	
Include Bed Mix.	2	CY	\$ 26.45	\$ 40	
Furnish & Install 15-gallon Trees.	2	EA	\$ 540.00	\$ 1,080	
Include Plantings - Grasses	15	EA	\$ 25.00	\$ 375	
<b>SUBTOTAL - Area 01 - Existing Administration/Instructor/Staff Offices and Support Spaces - DIVISION 32.06.00 - LANDSCAPING / IRRIGATION</b>					\$ 10,184
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities</b>					
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					
Include Full-time Supervision, Project Engineering & Project Management. Include Jobsite Trailer. Include Temporary Facilities. Include Dumpsters and Temporary Fencing. Include Jobsite Safety Provisions and Surveys. Include Forklift and Major Equipment.	35	WKS	\$ 14,167.19	\$ 490,751	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					\$ 490,751
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 01.01.00 - DEMOLITION</b>					
Cut Concrete Slab for Sewer Replacement	306	LF	\$ 35.00	\$ 10,710	
Remove and Dispose of Existing Brick	2,744	SF	\$ 4.15	\$ 11,388	
Demo existing Drywall and Metal Framed Walls	10,200	SF	\$ .74	\$ 7,548	
Remove and Dispose of Existing ATC	16,123	SF	\$ .35	\$ 5,643	
Remove and Dispose of Flooring and Prep Concrete for New Flooring	16,123	SF	\$ 1.15	\$ 18,541	
Dispose of Waste	330	CY	\$ 35.00	\$ 11,549	
Demo Site Culvert for Storm Drains and Roof Drains	170	LF	\$ 15.00	\$ 2,550	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 01.01.00 - DEMOLITION</b>					\$ 67,929
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					
Include Rebar for Spread Footings	8	EA	\$ 600.00	\$ 4,800	
Include Concrete for Spread Footings	8	EA	\$ 1,240.00	\$ 9,920	
Include Concrete Slab on Grade	4,950	SF	\$ 8.60	\$ 42,570	
Include Rebar for Linear Footings - Conference Center Retaining	170	LF	\$ 6.00	\$ 1,020	
Purchase & Place Concrete - Linear Footings New Dorm Retaining	170	LF	\$ 80.00	\$ 13,600	
Include Rebar for Foundations Large Retaining Wall and Smaller Retaining Wall	3,570	SF	\$ 3.45	\$ 12,317	
Purchase & Place Concrete - Foundations Large Retaining Wall and Smaller Retaining Wall	161	CY	\$ 340.70	\$ 54,853	



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
Include Rebar for Spread Footings	9	EA	\$ 600.00	\$ 5,400	
Include Concrete and Labor for Spread Footings	9	EA	\$ 1,240.00	\$ 11,160	
Drill for rebar dowels along perimeter of cuts and rebar / epoxy in place		LF	\$ 25.00		
Include Concrete Slab on Grade Parking at Grade	30,000	SF	\$ 8.60	\$ 258,000	
Slab On Metal Deck	6,720	SF	\$ 7.60	\$ 51,072	
Concrete Columns	12	EA	\$ 10,500.00	\$ 126,000	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					\$ 590,712
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 04.01.00 - UNIT MASONRY</b>					
Include CMU for Trackside Walls	2,865	SF	\$ 21.00	\$ 60,165	
Include Brick Pointing and Refacing allowance around forensic garage	1	Allow	\$ 2,000.00	\$ 2,000	
Include Brick for Conference Center	7,920	SF	\$ 22.00	\$ 174,240	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 04.01.00 - UNIT MASONRY</b>					\$ 236,405
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					
Include Structural Steel	4,500	SF	\$ 5.30	\$ 23,850	
Furnish and Erect Metal Decking (Roofing)	4,500	SF	\$ 5.65	\$ 25,425	
Furnish and Erect Metal Joists	4,500	SF	\$ 6.75	\$ 30,375	
Include Connections, Embeds and Plates	2	TONS	\$ 3,050.00	\$ 5,948	
Include Structural Steel	13,440	SF	\$ 8.15	\$ 109,536	
Furnish and Erect Metal Decking (Roofing)	13,440	SF	\$ 5.65	\$ 75,936	
Furnish and Erect Metal Joists	6,720	SF	\$ 6.75	\$ 45,360	
Include Steel Stair from Sub Grade Level Parking	1	LS	\$ 22,000.00	\$ 22,000	
Include Connections, Embeds and Plates	2	TONS	\$ 3,050.00	\$ 5,948	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					\$ 344,377
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					
Include In-wall Wood Blocking for Cabinetry, Specialties, Glazing, and Parapet	539	LF	\$ 4.61	\$ 2,486	
Include Treated Plywood - MEP	120	SF	\$ 4.25	\$ 510	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					\$ 2,996
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					
Include Teacher Cabinets	15	LF	\$ 750.00	\$ 11,250	
Include Plam Cabinetry Uppers	100	LF	\$ 290.00	\$ 29,000	
Include Plam Cabinet Loweres includes plam countertop	151	LF	\$ 480.00	\$ 72,480	
Include Plam Cabinetry Uppers	35	LF	\$ 290.00	\$ 10,150	
Include Plam Cabinet Loweres includes plam countertop	35	LF	\$ 480.00	\$ 16,800	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					\$ 139,680
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 07.01.00 - WATERPROOFING &amp; CAULKING</b>					
Include Caulking for Windows that may be damaged - remove and apply new	1	Allow	\$ 750.00	\$ 750	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 07.01.00 - WATERPROOFING &amp; CAULKING</b>					\$ 750
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 07.02.00 - BUILDING INSULATION</b>					
Include Acoustical Batt Insulation integral to Interior Partitions.	19,416	SF	\$ 1.25	\$ 24,270	
Furnish & Install Rigid Insulation - Foundation, Parking Deck and Metal Stud Walls	13,920	SF	\$ 2.66	\$ 37,027	
Include Acoustical Batt Insulation integral to Interior Partitions.	7,440	SF	\$ 1.25	\$ 9,300	
Furnish & Install Thermal Batt Insulation - Exterior Walls.	7,200	SF	\$ 2.80	\$ 20,160	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 07.02.00 - BUILDING INSULATION</b>					\$ 90,757
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 07.03.00 - ROOFING</b>					
Include TPO Membrane System. Include Tapered Rigid Insulation. Include Protection Board. Include Walkpads. Include Roofing at Reverse-side of Parapet Walls. Include Integral Flashings, Reglets & Scuppers.	4,500	SF	\$ 8.90	\$ 40,050	
Include TPO Membrane System. Include Tapered Rigid Insulation. Include Protection Board. Include Walkpads. Include Roofing at Reverse-side of Parapet Walls. Include Integral Flashings, Reglets & Scuppers.	6,720	SF	\$ 8.90	\$ 59,808	
Include Roofing Parapet Cap	300	LF	\$ 12.45	\$ 3,735	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 07.03.00 - ROOFING</b>					\$ 103,593



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 07.04.00 - EXPANSION JOINT ASSEMBLIES</b>					
Include New Expansion Covers Interior and Exterior	1	ALLOW	\$ 5,000.00	\$ 5,000	
Include New Expansion Covers Interior and Exterior	1	ALLOW	\$ 14,250.00	\$ 14,250	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 07.04.00 - EXPANSION JOINT ASSEMBLIES</b>					\$ 19,250
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					
Furnish & Install Door Hardware Sets.	32	SETS	\$ 840.00	\$ 26,880	
Furnish WD Panel Doors	32	LEAF	\$ 603.75	\$ 19,320	
Furnish HM Door Frames	32	EA	\$ 420.00	\$ 13,440	
Install (Swing) HM & WD Door Panels.	32	LEAF	\$ 250.00	\$ 8,000	
Furnish and Install HM Doors	2	LEAF	\$ 455.00	\$ 910	
Furnish & Install Door Hardware Sets.	20	SETS	\$ 840.00	\$ 16,800	
Furnish WD Panel Doors	20	LEAF	\$ 603.75	\$ 12,075	
Furnish HM Door Frames	20	EA	\$ 420.00	\$ 8,400	
Install (Swing) HM & WD Door Panels.	20	LEAF	\$ 250.00	\$ 5,000	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					\$ 110,825
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 08.02.00 - OVERHEAD COILING DOORS</b>					
Motorized Overhead Sectional Door - high lift with jack shaft motor	1	EA	\$ 3,200.00	\$ 3,200	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 08.02.00 - OVERHEAD COILING DOORS</b>					\$ 3,200
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 08.03.00 - GLASS &amp; GLAZING</b>					
Aluminum Storefront Interior Glazing	192	SF	\$ 45.00	\$ 8,640	
Aluminum Storefront Double Pane Conference Center	240	SF	\$ 65.00	\$ 15,600	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 08.03.00 - GLASS &amp; GLAZING</b>					\$ 24,240
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					
Construct Interior Gyp. Board Partitions - Non-rated.	19,416	SF	\$ 6.75	\$ 131,058	
Include Framing, Sheathing and Gyp Board- Exterior Walls.	855	SF	\$ 8.75	\$ 7,481	
Furnish and Install Gyp Board at Restroom and Custodial Area	382	SF	\$ 6.20	\$ 2,368	
Install HM Door Frames	34	EA	\$ 175.00	\$ 5,950	
Construct Interior Gyp. Board Partitions - Non-rated.	7,440	SF	\$ 6.75	\$ 50,220	
Include Framing, Sheathing and Gyp Board- Exterior Walls.	7,800	SF	\$ 8.75	\$ 68,250	
Furnish and Install Gyp Board at Restroom and Custodial Area	610	SF	\$ 6.20	\$ 3,782	
Install HM Door Frames	20	EA	\$ 175.00	\$ 3,500	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					\$ 272,610
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					
Furnish New Grid and Ceiling Tiles Conference and Classrooms	26,351	SF	\$ 4.60	\$ 121,215	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					\$ 121,215
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.05.00 - CERAMIC TILE</b>					
Include Floor Tile in Restrooms	380	SF	\$ 11.00	\$ 4,180	
Include Wall Tile in Restrooms	540	SF	\$ 18.00	\$ 9,720	
Include Floor Tile in Restrooms	610	SF	\$ 11.00	\$ 6,710	
Include Wall Tile in Restrooms	1,080	SF	\$ 18.00	\$ 19,440	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.05.00 - CERAMIC TILE</b>					\$ 40,050
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					
Furnish & Install Carpet Flooring	2,677	SY	\$ 50.40	\$ 134,932	
Furnish & Install Resilient Base	3,236	LF	\$ 2.55	\$ 8,252	
Furnish & Install LVT	2,256	SF	\$ 7.85	\$ 17,710	
Include Flooring Transistions	1	Lot	\$ 500.00	\$ 500	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					\$ 161,393
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.08.00 - PAINT</b>					
Include Paint Interior and Exterior Walls	39,687	SF	\$ 1.80	\$ 71,437	
Include Paint Interior and Exterior Walls	22,680	SF	\$ 1.80	\$ 40,824	

ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 09.08.00 - PAINT</b>					\$ 112,261
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.03.00 - TOILET PARTITIONS</b>					
Furnish and Install Toilet Partitions	3	STALL	\$ 900.00	\$ 2,700	
Furnish and Install Urinal Screens	1	STALL	\$ 320.00	\$ 320	
Furnish and Install Toilet Partitions	6	STALL	\$ 900.00	\$ 5,400	
Furnish and Install Urinal Screens	2	STALL	\$ 320.00	\$ 640	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.03.00 - TOILET PARTITIONS</b>					\$ 9,060
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.04.00 - TOILET ACCESSORIES</b>					
Furnish & Install Hand Dryers with Recess Kits.	2	EA	\$ 512.00	\$ 1,024	
Furnish & Install Toilet Tissue Dispensers.	3	EA	\$ 75.00	\$ 225	
Furnish & Install Grab Bars.	6	EA	\$ 90.00	\$ 540	
Furnish & Install Framed Mirrors	4	EA	\$ 125.00	\$ 500	
Furnish & Install Hand Dryers with Recess Kits.	5	EA	\$ 512.00	\$ 2,560	
Furnish & Install Toilet Tissue Dispensers.	7	EA	\$ 75.00	\$ 525	
Furnish & Install Grab Bars.	9	EA	\$ 90.00	\$ 810	
Furnish & Install Framed Mirrors	5	EA	\$ 125.00	\$ 625	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.04.00 - TOILET ACCESSORIES</b>					\$ 6,809
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					
Furnish & Install Rated Fire Extinguisher Cabinets. Include Decals.	10	EA	\$ 247.50	\$ 2,475	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					\$ 2,475
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					
Furnish & Install Panel Signs. Signs shall be ADA Compliant. Include Room Identification Signage.	54	LOC	\$ 75.00	\$ 4,050	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					\$ 4,050
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.12.00 - OPERABLE PARTITIONS</b>					
Operable Walls for Conference Center	2,000	SF	\$ 75.00	\$ 150,000	
Classroom Operable Walls	608	SF	\$ 75.00	\$ 45,600	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 10.12.00 - OPERABLE PARTITIONS</b>					\$ 195,600
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 11.06.00 - RESIDENTIAL APPLIANCES</b>					
Include Refridgerator, Range, Dishwasher, Microwave Allowance Installed	1	ALLOW	\$ 5,000.00	\$ 5,000	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 11.06.00 - RESIDENTIAL APPLIANCES</b>					\$ 5,000
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 11.07.00 - THEATRICAL EQUIPMENT</b>					
Include Seating for Conference Center	600	EA	\$ 525.00	\$ 315,000	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 11.07.00 - THEATRICAL EQUIPMENT</b>					\$ 315,000
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 14.00.00 - ELEVATORS</b>					
Include MRL Elevator for Conference Center	1	ALLOW	\$ 85,000.00	\$ 85,000	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 14.00.00 - ELEVATORS</b>					\$ 85,000
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 21.00.00 - FIRE SPRINKLER</b>					
Refit of existing system in specific areas	20,623	SF	\$ 1.85	\$ 38,153	
Include new Fire Sprinkler System with Semi-Recessed Heads	6,720	SF	\$ 4.15	\$ 27,888	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 21.00.00 - FIRE SPRINKLER</b>					\$ 66,041
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 22.00.00 - PLUMBING</b>					
Plumbing rough-in for Baths and New Sewer Extension	1	LS	\$ 14,250.00	\$ 14,250	
Wall Mounted Lavatory	4	EA	\$ 1,450.00	\$ 5,800	
Fixture Allowance	4	EA	\$ 435.00	\$ 1,740	
Drinking Fountains	2	EA	\$ 1,850.00	\$ 3,700	
Floor Drains	2	EA	\$ 450.00	\$ 900	
Toilet	3	EA	\$ 1,650.00	\$ 4,950	
Urinals	1	EA	\$ 1,070.00	\$ 1,070	
Plumbing rough-in Including Roof Drains	1	LS	\$ 50,085.00	\$ 50,085	
Wall Mounted Lavatory	5	EA	\$ 1,450.00	\$ 7,250	
Fixture Allowance	5	EA	\$ 435.00	\$ 2,175	
Drinking Fountains	2	EA	\$ 1,850.00	\$ 3,700	
Floor Drains	3	EA	\$ 450.00	\$ 1,350	
Toilet	6	EA	\$ 1,650.00	\$ 9,900	
Urinals	3	EA	\$ 1,070.00	\$ 3,210	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 22.00.00 - PLUMBING</b>					\$ 110,080



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 23.00.00 - HVAC</b>					
Include VAV Boxes	7	EA	\$ 1,700.00	\$ 11,900	
Include Bath Exhaust Fans	2	EA	\$ 450.00	\$ 900	
Include Cleaning Existing Grills and Registers	20,623	SF	\$ .25	\$ 5,156	
Include All New 4 Pipe Copper Lines for HVAC	20,623	SF	\$ 4.80	\$ 98,990	
Include Automatic HVAC Temperature Controls	20,623	SF	\$ 5.12	\$ 105,590	
Test and Balance the Systems	20,623	SF	\$ .25	\$ 5,156	
Include VAV Boxes	6	EA	\$ 1,700.00	\$ 10,200	
Include Bath Exhaust Fans	3	EA	\$ 450.00	\$ 1,350	
Include New Grills and Registers	6,720	SF	\$ 3.85	\$ 25,872	
Include All New 4 Pipe Copper Lines for HVAC Tie into Existing Mech	6,720	SF	\$ 4.80	\$ 32,256	
Include Automatic HVAC Temperature Controls	6,720	SF	\$ 5.12	\$ 34,406	
Test and Balance the Systems	6,720	SF	\$ .25	\$ 1,680	
Possible Need for Upgraded Equipment in Mechanical Yard to Handle New Space	1	Allow	\$ 65,000.00	\$ 65,000	
Extend piping to main building and include conduit for four pipe under road and parking	1	Allow	\$ 15,000.00	\$ 15,000	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 23.00.00 - HVAC</b>					\$ 413,456
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 26.01.00 - ELECTRICAL</b>					
Include Indoor LED Lighting Fixtures, Fixture Supports, Lighting Controls and Switches	27,343	SF	\$ 9.10	\$ 248,821	
Branch Panels	2	LS	\$ 8,500.00	\$ 17,000	
Panel Feeders	2	LS	\$ 3,500.00	\$ 7,000	
Power Plan and Branch Circuitry	27,343	SF	\$ 4.35	\$ 118,942	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 26.01.00 - ELECTRICAL</b>					\$ 391,763
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 26.02.00 - FIRE ALARM</b>					
Include Fire Alarm Detection and Notification Systems	27,343	SF	\$ 2.25	\$ 61,522	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 26.02.00 - FIRE ALARM</b>					\$ 61,522
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 27.01.00 - TELEDATA</b>					
Include VOIP Phones	52	EA	\$ 450.00	\$ 23,400	
Network Switches	2	EA	\$ 3,500.00	\$ 7,000	
Structured Cabling with Network Outlets/ Server Racks and Equipment	27,343	SF	\$ 3.50	\$ 95,701	
Include Paging System	27,343	SF	\$ 1.20	\$ 32,812	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 27.01.00 - TELEDATA</b>					\$ 158,912
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					
Include Security / Access Control System	2	EA	\$ 2,000.00	\$ 4,000	
Include Card Readers.	8	EA	\$ 2,500.00	\$ 20,000	
Include CCTV System	18	EA	\$ 2,500.00	\$ 45,000	
Include Security Door Contacts	8	EA	\$ 200.00	\$ 1,600	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					\$ 70,600
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 27.03.00 - AUDIO-VISUAL</b>					
Furnish & Install Large and Small Class Room AV Equipment	6	EA	\$ 5,000.00	\$ 30,000	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 27.03.00 - AUDIO-VISUAL</b>					\$ 30,000
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 31.02.00 - EARTHWORK</b>					
Excavate Building Footprint and Construct Building Pad using Select Structural Fill (Assumed to be on-site). Excavate to allow for a 48" layer of select fill with a 5'-0" offset. Include Proof-roll, scarify, compact, and install select fill (10-20 PI) in 9" lifts compacted to 95%.	4,500	SF	\$ 3.13	\$ 14,085	
Include Helical Piers	1	LS	\$ 57,600.00	\$ 57,600	
Excavate Building Footprint and Construct Building Pad using Select Structural Fill (Assumed to be on-site). Excavate to allow for a 48" layer of select fill with a 5'-0" offset. Include Proof-roll, scarify, compact, and install select fill (10-20 PI) in 9" lifts compacted to 95%.	30,000	SF	\$ 3.13	\$ 93,900	
Include Large Retention Area Uphill from Displaced Retention from Conference Center	16,667	CY	\$ 12.00	\$ 200,000	
Include Helical Piers	1	LS	\$ 86,400.00	\$ 86,400	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 31.02.00 - EARTHWORK</b>					\$ 451,985
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					
Include Pavement Striping. Layout and Stripe Parking Areas.	1	LS	\$ 5,000.00	\$ 5,000	
Include Handicap Signs on 2" diameter Aluminum Posts.	6	EA	\$ 205.00	\$ 1,230	
Include Pavement Markings. Include Handicap Stencils on 4'-0" x 4'-0" Blue Background. Include Arrows, control Lines in Drives.	6	EA	\$ 45.00	\$ 270	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					\$ 6,500
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 32.03.00 - SITE CONCRETE</b>					



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
Construct Site Concrete/Sidewalk 4"	845	SF	\$ 4.59	\$ 3,879	
Construct Site Concrete/6" curb w 24" gutter	169	LF	\$ 19.20	\$ 3,245	
Construct New Parking - Main Grade - Garage Parking part of Building	900	SF	\$ 8.45	\$ 7,605	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 32.03.00 - SITE CONCRETE</b>					\$ 14,728
<b>Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 33.00.00 - SITE UTILITIES</b>					
Include Underground Storm Drain	870	LF	\$ 85.00	\$ 73,950	
Include Storm Drain Boxes and Inlets	5	EA	\$ 6,500.00	\$ 32,500	
Include Fire Hydrant	1	EA	\$ 8,500.00	\$ 8,500	
<b>SUBTOTAL - Area 02 - Existing Lecture / Classroom / Laboratory / Meeting Facilities - DIVISION 33.00.00 - SITE UTILITIES</b>					\$ 114,950
<b>Area 03 - Existing LETC Support Facilities</b>					
<b>Area 03 - Existing LETC Support Facilities - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					
Include Full-time Supervision, Project Engineering & Project Management. Include Jobsite Trailer. Include Temporary Facilities. Include Dumpsters and Temporary Fencing. Include Jobsite Safety Provisions and Surveys. Include Forklift and Major Equipment.	56	WKS	\$ 14,167.19	\$ 797,471	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					\$ 797,471
<b>Area 03 - Existing LETC Support Facilities - DIVISION 01.01.00 - DEMOLITION</b>					
Cut Concrete Slab for Sewer Replacement	860	LF	\$ 35.00	\$ 30,100	
Demo existing Drywall and Metal Framed Walls	9,276	SF	\$ .74	\$ 6,864	
Remove and Dispose of Flooring and Prep Concrete for New Flooring	43,950	SF	\$ 1.15	\$ 50,543	
Remove and Dispose of ACT	43,950	SF	\$ .35	\$ 15,383	
Demo Brick Walls	2,400	SF	\$ 4.15	\$ 9,960	
Dispose of Waste	232	CY	\$ 35.00	\$ 8,137	
Demo Dining Glazing	212	SF	\$ 1.85	\$ 392	
Demo Site Culvert for Storm Drains and Roof Drains	124	LF	\$ 15.00	\$ 1,860	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 01.01.00 - DEMOLITION</b>					\$ 123,238
<b>Area 03 - Existing LETC Support Facilities - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					
Include Rebar for Linear Footings	420	LF	\$ 6.00	\$ 2,520	
Purchase & Place Concrete - Linear Footings Gym Walls	420	LF	\$ 80.00	\$ 33,600	
Include Concrete Slab on Grade Track and Dining	9,340	SF	\$ 8.60	\$ 80,324	
Include Rebar for Linear Footings	478	LF	\$ 6.00	\$ 2,868	
Purchase & Place Concrete - Linear Footings New Dorm Retaining and Receiving	478	LF	\$ 80.00	\$ 38,240	
Include Rebar for Foundations Large Retaining Wall and Smaller Retaining Wall	6,306	SF	\$ 3.45	\$ 21,756	
Purchase & Place Concrete - Foundations Large Retaining Wall and Smaller Retaining Wall	284	CY	\$ 336.02	\$ 95,429	
Include Rebar for Spread Footings	12	EA	\$ 600.00	\$ 7,200	
Include Concrete and Labor for Spread Footings	12	EA	\$ 1,240.00	\$ 14,880	
Drill for rebar dowels along perimeter of cuts and rebar / epoxy in place	480	LF	\$ 25.00	\$ 12,000	
Include Concrete Slab on Grade Parking at Grade and Receiving	23,939	SF	\$ 8.60	\$ 205,875	
Slab On Metal Deck	42,934	SF	\$ 7.60	\$ 326,298	
Concrete Columns	12	EA	\$ 10,500.00	\$ 126,000	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					\$ 966,991
<b>Area 03 - Existing LETC Support Facilities - DIVISION 04.01.00 - UNIT MASONRY</b>					
Include Exterior Brick - Exterior Finishes patching and repointing (allowance)	6,778	SF	\$ 26.00	\$ 176,218	
Include Exterior Brick for New Dormitories	19,950	SF	\$ 22.00	\$ 438,900	
Include Exterior Brick for Track Walls	8,460	SF	\$ 22.00	\$ 186,120	
Include Exterior Brick for Receiving	2,970	SF	\$ 22.00	\$ 65,340	
Include CMU Block for Track Walls	8,460	SF	\$ 18.00	\$ 152,280	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 04.01.00 - UNIT MASONRY</b>					\$ 1,018,858
<b>Area 03 - Existing LETC Support Facilities - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					
Brace Masonry Walls with Steel Angles	1	ALLOW	\$ 45,000.00	\$ 45,000	
Include Structural Steel	64,401	SF	\$ 8.15	\$ 524,868	
Furnish and Erect Metal Decking	64,401	SF	\$ 5.65	\$ 363,866	
Furnish and Erect Metal Joists	42,934	SF	\$ 6.75	\$ 289,805	
Include Steel Stairs	1	LS	\$ 132,000.00	\$ 132,000	
Include Connections, Embeds and Plates and Misc Metals	12	TONS	\$ 3,050.00	\$ 36,600	
Include Structural Steel	11,812	SF	\$ 5.30	\$ 62,604	
Furnish and Erect Metal Decking (Roofing)	11,812	SF	\$ 5.65	\$ 66,738	



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
Furnish and Erect Metal Joists	11,812	SF	\$ 6.75	\$ 79,731	
Include Connections, Embeds and Plates	2	TONS	\$ 3,050.00	\$ 5,649	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					\$ 1,606,859
<b>Area 03 - Existing LETC Support Facilities - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					
Include In-wall Wood Blocking for Cabinetry, Specialties, Glazing, and Parapet	2,550	LF	\$ 4.61	\$ 11,756	
Include Treated Plywood - Elec. Rooms	290	SF	\$ 4.25	\$ 1,233	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					\$ 12,988
<b>Area 03 - Existing LETC Support Facilities - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					
Include Plam Cabinetry Uppers	15	LF	\$ 290.00	\$ 4,350	
Include Plam Cabinet Lowers includes plam countertop	15	LF	\$ 480.00	\$ 7,200	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					\$ 11,550
<b>Area 03 - Existing LETC Support Facilities - DIVISION 07.01.00 - WATERPROOFING &amp; CAULKING</b>					
Include Caulking for Windows that may be damaged - remove and apply new	1	Allow	\$ 7,500.00	\$ 7,500	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 07.01.00 - WATERPROOFING &amp; CAULKING</b>					\$ 7,500
<b>Area 03 - Existing LETC Support Facilities - DIVISION 07.02.00 - BUILDING INSULATION</b>					
Include Acoustical Batt Insulation integral to Interior Partitions.	112,176	SF	\$ 1.25	\$ 140,220	
Furnish & Install Rigid Insulation - Foundation, Parking Deck and Metal Stud Walls	48,782	SF	\$ 2.66	\$ 129,760	
Furnish & Install Thermal Batt Insulation - Exterior Walls.	24,840	SF	\$ 2.80	\$ 69,552	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 07.02.00 - BUILDING INSULATION</b>					\$ 339,532
<b>Area 03 - Existing LETC Support Facilities - DIVISION 07.03.00 - ROOFING</b>					
Include TPO Membrane System. Include Tapered Rigid Insulation. Include Protection Board. Include Walkpads. Include Roofing at Reverse-side of Parapet Walls. Include Integral Flashings, Reglets & Scuppers.	21,467	SF	\$ 8.90	\$ 191,056	
Include TPO Membrane System. Include Tapered Rigid Insulation. Include Protection Board. Include Walkpads. Include Roofing at Reverse-side of Parapet Walls. Include Integral Flashings, Reglets & Scuppers.	11,812	SF	\$ 8.90	\$ 105,127	
Include Roofing Parapet Cap	1,354	LF	\$ 12.45	\$ 16,857	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 07.03.00 - ROOFING</b>					\$ 313,040
<b>Area 03 - Existing LETC Support Facilities - DIVISION 07.04.00 - EXPANSION JOINT ASSEMBLIES</b>					
Include New Expansion Covers Interior and Exterior	1	ALLOW	\$ 31,587.50	\$ 31,588	
Include New Expansion Covers Interior and Exterior	1	ALLOW	\$ 23,322.50	\$ 23,323	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 07.04.00 - EXPANSION JOINT ASSEMBLIES</b>					\$ 54,910
<b>Area 03 - Existing LETC Support Facilities - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					
Furnish & Install Door Hardware Sets.	250	SETS	\$ 840.00	\$ 210,000	
Furnish WD Panel Doors	250	LEAF	\$ 603.75	\$ 150,938	
Furnish HM Door Frames	250	EA	\$ 420.00	\$ 105,000	
Install (Swing) HM & WD Door Panels.	250	LEAF	\$ 250.00	\$ 62,500	
Furnish and Install HM Doors	2	LEAF	\$ 455.00	\$ 910	
Furnish & Install Door Hardware Sets.	33	SETS	\$ 840.00	\$ 27,720	
Furnish WD Panel Doors	33	LEAF	\$ 603.75	\$ 19,924	
Furnish HM Door Frames	33	EA	\$ 420.00	\$ 13,860	
Install (Swing) HM & WD Door Panels.	33	LEAF	\$ 250.00	\$ 8,250	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					\$ 599,101
<b>Area 03 - Existing LETC Support Facilities - DIVISION 08.03.00 - GLASS &amp; GLAZING</b>					
Aluminum Storefront Interior Glazing	192	SF	\$ 45.00	\$ 8,640	
Aluminum Storefront Double Pane Conference Center	2,842	SF	\$ 65.00	\$ 184,730	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 08.03.00 - GLASS &amp; GLAZING</b>					\$ 193,370
<b>Area 03 - Existing LETC Support Facilities - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					
Construct Interior Gyp. Board Partitions - Non-rated.	114,576	SF	\$ 6.75	\$ 773,388	
Include Framing, Sheathing and Gyp Board- Exterior Walls.	24,770	SF	\$ 8.75	\$ 216,738	
Furnish and Install Gyp Board at Dorm Areas, Showers, Bathrooms, Housekp	39,360	SF	\$ 6.20	\$ 244,032	
Install HM Door Frames	283	EA	\$ 175.00	\$ 49,525	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					\$ 1,283,683
<b>Area 03 - Existing LETC Support Facilities - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					
Furnish New Grid and Ceiling Tiles Corridors, Dining	14,931	SF	\$ 4.60	\$ 68,683	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					\$ 68,683



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>Area 03 - Existing LETC Support Facilities - DIVISION 09.05.00 - CERAMIC TILE</b>					
Include Floor Tile in Restrooms	1,164	SF	\$ 11.00	\$ 12,804	
Include Wall Tile in Restrooms	1,710	SF	\$ 18.00	\$ 30,780	
Include Floor Tile in Showers	1,000	SF	\$ 11.00	\$ 11,000	
Include Wall Tile in Showers	2,150	SF	\$ 18.00	\$ 38,700	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 09.05.00 - CERAMIC TILE</b>					\$ 93,284
<b>Area 03 - Existing LETC Support Facilities - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					
Furnish & Install Carpet Flooring	7,639	SY	\$ 50.40	\$ 385,006	
Furnish & Install Resilient Base	3,236	LF	\$ 2.55	\$ 8,252	
Furnish & Install Vinyl Flooring	14,238	SF	\$ 3.15	\$ 44,850	
Include Flooring Transitions	1	Lot	\$ 5,500.00	\$ 5,500	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					\$ 443,607
<b>Area 03 - Existing LETC Support Facilities - DIVISION 09.07.00 - ATHLETIC FLOORING</b>					
Furnish and Install Resilient Athletic Flooring	2,100	SF	\$ 7.20	\$ 15,120	
Furnish and Install Indoor Track Surfacing	7,100	SF	\$ 13.00	\$ 92,300	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 09.07.00 - ATHLETIC FLOORING</b>					\$ 107,420
<b>Area 03 - Existing LETC Support Facilities - DIVISION 09.08.00 - PAINT</b>					
Include Paint Interior and Exterior Walls along with gyp ceilings	290,582	SF	\$ 1.80	\$ 523,048	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 09.08.00 - PAINT</b>					\$ 523,048
<b>Area 03 - Existing LETC Support Facilities - DIVISION 10.03.00 - TOILET PARTITIONS</b>					
Furnish and Install Toilet Partitions	9	STALL	\$ 900.00	\$ 8,100	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 10.03.00 - TOILET PARTITIONS</b>					\$ 8,100
<b>Area 03 - Existing LETC Support Facilities - DIVISION 10.04.00 - TOILET ACCESSORIES</b>					
Furnish & Install Hand Dryers with Recess Kits.	6	EA	\$ 512.00	\$ 3,072	
Furnish & Install Toilet Tissue Dispensers.	6	EA	\$ 75.00	\$ 450	
Furnish & Install Grab Bars.	18	EA	\$ 90.00	\$ 1,620	
Furnish & Install Framed Mirrors	6	EA	\$ 125.00	\$ 750	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 10.04.00 - TOILET ACCESSORIES</b>					\$ 5,892
<b>Area 03 - Existing LETC Support Facilities - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					
Furnish & Install Rated Fire Extinguisher Cabinets. Include Decals.	18	EA	\$ 247.50	\$ 4,455	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					\$ 4,455
<b>Area 03 - Existing LETC Support Facilities - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					
Furnish & Install Panel Signs. Signs shall be ADA Compliant. Include Room Identification Signage.	280	LOC	\$ 75.00	\$ 21,000	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					\$ 21,000
<b>Area 03 - Existing LETC Support Facilities - DIVISION 10.11.00 - UNIT LOCKERS</b>					
Lockers Allowance	75	LF	\$ 435.00	\$ 32,625	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 10.11.00 - UNIT LOCKERS</b>					\$ 32,625
<b>Area 03 - Existing LETC Support Facilities - DIVISION 11.03.00 - FOOD SERVICE EQUIPMENT</b>					
New Food Service Equipment	1,800	SF	\$ 278.00	\$ 500,400	
New Walk in Cooler and Freezer	1	Allow	\$ 15,000.00	\$ 15,000	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 11.03.00 - FOOD SERVICE EQUIPMENT</b>					\$ 515,400
<b>Area 03 - Existing LETC Support Facilities - DIVISION 14.00.00 - ELEVATORS</b>					
Include MRL Elevator for Existing Dorm	1	ALLOW	\$ 85,000.00	\$ 85,000	
Include MRL Elevator for New Dorm	1	ALLOW	\$ 115,000.00	\$ 115,000	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 14.00.00 - ELEVATORS</b>					\$ 200,000
<b>Area 03 - Existing LETC Support Facilities - DIVISION 21.00.00 - FIRE SPRINKLER</b>					
Refit of existing system in specific areas	59,340	SF	\$ 1.85	\$ 109,779	
Include new Fire Sprinkler System with Semi-Recessed Heads Garage?	42,934	SF	\$ 4.15	\$ 178,176	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 21.00.00 - FIRE SPRINKLER</b>					\$ 287,955
<b>Area 03 - Existing LETC Support Facilities - DIVISION 22.00.00 - PLUMBING</b>					
Plumbing rough-in for Existing Baths Showers and New Sewer Extension	1	LS	\$ 46,000.00	\$ 46,000	
Plumbing rough-in for New Dormitory with Roof Drains	42,934	SF	\$ 6.37	\$ 273,490	



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
Wall Mounted Lavatory	142	EA	\$ 1,450.00	\$ 205,900	
Fixture Allowance	148	EA	\$ 435.00	\$ 64,380	
Drinking Fountains	8	EA	\$ 1,850.00	\$ 14,800	
Floor Drains	12	EA	\$ 450.00	\$ 5,400	
Toilet	142	EA	\$ 1,650.00	\$ 234,300	
Urinals	3	EA	\$ 1,070.00	\$ 3,210	
Plumbing rough-in Including Roof Drains	1	LS	\$ 50,085.00	\$ 50,085	
Wall Mounted Lavatory	5	EA	\$ 1,450.00	\$ 7,250	
Fixture Allowance	5	EA	\$ 435.00	\$ 2,175	
Drinking Fountains	2	EA	\$ 1,850.00	\$ 3,700	
Floor Drains	3	EA	\$ 450.00	\$ 1,350	
Toilet	6	EA	\$ 1,650.00	\$ 9,900	
Urinals	3	EA	\$ 1,070.00	\$ 3,210	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 22.00.00 - PLUMBING</b>					\$ 925,150
<b>Area 03 - Existing LETC Support Facilities - DIVISION 23.00.00 - HVAC</b>					
Include VAV Boxes	35	EA	\$ 1,700.00	\$ 59,500	
Include Bath Exhaust Fans	32	EA	\$ 450.00	\$ 14,400	
Include Cleaning Existing Grills and Registers	59,340	SF	\$ .25	\$ 14,835	
Include All New 4 Pipe Copper Lines for HVAC	59,340	SF	\$ 4.80	\$ 284,832	
Include Automatic HVAC Temperature Controls	59,340	SF	\$ 5.12	\$ 303,821	
Test and Balance the Systems	59,340	SF	\$ .25	\$ 14,835	
Include VAV Boxes	65	EA	\$ 1,700.00	\$ 110,500	
Include Bath Exhaust Fans	132	EA	\$ 450.00	\$ 59,400	
Include New Grills and Registers	42,934	SF	\$ 3.85	\$ 165,296	
Include All New 4 Pipe Copper Lines for HVAC Tie into Existing Mech	42,934	SF	\$ 4.80	\$ 206,083	
Include Automatic HVAC Temperature Controls	42,934	SF	\$ 5.12	\$ 219,822	
Test and Balance the Systems	42,934	SF	\$ .25	\$ 10,734	
Possible Need for Upgraded Equipment in Mechanical Yard to Handle New Space	1	Allow	\$ 435,000.00	\$ 435,000	
Extend piping to main building and include conduit for four pipe under road and parking	1	Allow	\$ 15,000.00	\$ 15,000	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 23.00.00 - HVAC</b>					\$ 1,914,057
<b>Area 03 - Existing LETC Support Facilities - DIVISION 26.01.00 - ELECTRICAL</b>					
Include Indoor LED Lighting Fixtures, Fixture Supports, Lighting Controls and Switches	102,274	SF	\$ 9.10	\$ 930,693	
Branch Panels	2	LS	\$ 19,000.00	\$ 38,000	
Panel Feeders	2	LS	\$ 8,500.00	\$ 17,000	
Exterior Lighting - Wall Mounted	24	LS	\$ 650.00	\$ 15,600	
Power Plan and Branch Circuitry	102,274	SF	\$ 4.35	\$ 444,892	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 26.01.00 - ELECTRICAL</b>					\$ 1,446,185
<b>Area 03 - Existing LETC Support Facilities - DIVISION 26.02.00 - FIRE ALARM</b>					
Include Fire Alarm Detection and Notification Systems	42,934	SF	\$ 2.25	\$ 96,602	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 26.02.00 - FIRE ALARM</b>					\$ 96,602
<b>Area 03 - Existing LETC Support Facilities - DIVISION 27.01.00 - TELEDATA</b>					
Include VOIP Phones	130	EA	\$ 450.00	\$ 58,500	
Network Switches	2	EA	\$ 3,500.00	\$ 7,000	
Structured Cabling with Network Outlets/ Server Racks and Equipment	42,934	SF	\$ 3.50	\$ 150,269	
Include Paging System	49,434	SF	\$ 1.20	\$ 59,321	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 27.01.00 - TELEDATA</b>					\$ 275,090
<b>Area 03 - Existing LETC Support Facilities - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					
Include Security / Access Control System	2	EA	\$ 2,000.00	\$ 4,000	
Include Card Readers.	6	EA	\$ 2,500.00	\$ 15,000	
Include CCTV System	23	EA	\$ 2,500.00	\$ 57,500	
Include Security Door Contacts	6	EA	\$ 200.00	\$ 1,200	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					\$ 77,700
<b>Area 03 - Existing LETC Support Facilities - DIVISION 27.03.00 - AUDIO-VISUAL</b>					
Furnish & Install Dining AV Equipment	1	EA	\$ 5,000.00	\$ 5,000	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 27.03.00 - AUDIO-VISUAL</b>					\$ 5,000
<b>Area 03 - Existing LETC Support Facilities - DIVISION 31.02.00 - EARTHWORK</b>					
Excavate Building Footprint and Construct Building Pad using Select Structural Fill (Assumed to be on-site). Excavate to allow for a 48" layer of select fill with a 5'-0" offset. Include Proof-roll, scarify, compact, and install select fill (10-20 PI) in 9" lifts compacted to 95%.	33,267	SF	\$ 3.13	\$ 104,126	
Include Helical Piers	1	LS	\$ 336,000.00	\$ 336,000	
Include Large Retention Area Uphill from Displaced Retention from Conference Center	12,222	CY	\$ 12.00	\$ 146,667	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 31.02.00 - EARTHWORK</b>					\$ 586,792



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>Area 03 - Existing LETC Support Facilities - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					
Include Pavement Striping. Layout and Stripe Parking Areas.	1	LS	\$ 5,000.00	\$ 5,000	
Include Handicap Signs on 2" diameter Aluminum Posts.	8	EA	\$ 205.00	\$ 1,640	
Include Pavement Markings. Include Handicap Stencils on 4'-0" x 4'-0" Blue Background. Include Arrows, control Lines in Drives.	8	EA	\$ 45.00	\$ 360	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					\$ 7,000
<b>Area 03 - Existing LETC Support Facilities - DIVISION 32.03.00 - SITE CONCRETE</b>					
Construct Site Concrete/Sidewalk 4"	1,500	SF	\$ 4.59	\$ 6,885	
Construct Site Concrete/6" curb w 24" gutter	854	LF	\$ 19.20	\$ 16,397	
Construct New Parking - Main Grade - Garage Parking part of Building	10,452	SF	\$ 8.45	\$ 88,319	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 32.03.00 - SITE CONCRETE</b>					\$ 111,601
<b>Area 03 - Existing LETC Support Facilities - DIVISION 33.00.00 - SITE UTILITIES</b>					
Include Underground Storm Drain	450	LF	\$ 85.00	\$ 38,250	
Include Storm Drain Boxes and Inlets	5	EA	\$ 6,500.00	\$ 32,500	
Include Fire Hydrant	1	EA	\$ 8,500.00	\$ 8,500	
<b>SUBTOTAL - Area 03 - Existing LETC Support Facilities - DIVISION 33.00.00 - SITE UTILITIES</b>					\$ 79,250
<b>Area 04 - Existing Defensive Tactics</b>					
<b>Area 04 - Existing Defensive Tactics - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					
Include Full-time Supervision, Project Engineering & Project Management. Include Jobsite Trailer. Include Temporary Facilities. Include Dumpsters and Temporary Fencing. Include Jobsite Safety Provisions and Surveys. Include Forklift and Major Equipment.	17	WKS			
<b>SUBTOTAL - Area 04 - Existing Defensive Tactics - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					
<b>Area 04 - Existing Defensive Tactics - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					
Include In-wall Wood Blocking for Cabinetry, Specialties, Glazing, and Parapet	250	LF	\$ 4.61	\$ 1,153	
<b>SUBTOTAL - Area 04 - Existing Defensive Tactics - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					\$ 1,153
<b>Area 04 - Existing Defensive Tactics - DIVISION 07.02.00 - BUILDING INSULATION</b>					
Include Acoustical Batt Insulation integral to Interior Partitions.	3,504	SF	\$ 1.25	\$ 4,380	
<b>SUBTOTAL - Area 04 - Existing Defensive Tactics - DIVISION 07.02.00 - BUILDING INSULATION</b>					\$ 4,380
<b>Area 04 - Existing Defensive Tactics - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					
Furnish & Install Door Hardware Sets.	16	SETS	\$ 840.00	\$ 13,440	
Furnish WD Panel Doors	16	LEAF	\$ 603.75	\$ 9,660	
Furnish HM Door Frames	16	EA	\$ 420.00	\$ 6,720	
Install (Swing) HM & WD Door Panels.	16	LEAF	\$ 250.00	\$ 4,000	
<b>SUBTOTAL - Area 04 - Existing Defensive Tactics - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					\$ 33,820
<b>Area 04 - Existing Defensive Tactics - DIVISION 08.02.00 - OVERHEAD COILING DOORS</b>					
Motorized Overhead Sectional Door for DT Vehicle access	1	LS	\$ 3,000.00	\$ 3,000	
<b>SUBTOTAL - Area 04 - Existing Defensive Tactics - DIVISION 08.02.00 - OVERHEAD COILING DOORS</b>					\$ 3,000
<b>Area 04 - Existing Defensive Tactics - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					
Construct Interior Gyp. Board Partitions - Non-rated.	3,504	SF	\$ 6.75	\$ 23,652	
Install HM Door Frames	16	EA	\$ 175.00	\$ 2,800	
<b>SUBTOTAL - Area 04 - Existing Defensive Tactics - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					\$ 26,452
<b>Area 04 - Existing Defensive Tactics - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					
Furnish New Grid and Ceiling Tiles	1,660	SF	\$ 4.60	\$ 7,636	
<b>SUBTOTAL - Area 04 - Existing Defensive Tactics - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					\$ 7,636
<b>Area 04 - Existing Defensive Tactics - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					
Furnish & Install Carpet Flooring	522	SY	\$ 50.40	\$ 26,320	
Furnish & Install Resilient Base	584	LF	\$ 2.55	\$ 1,489	
Include Flooring Transitions	1	Lot	\$ 500.00	\$ 500	
<b>SUBTOTAL - Area 04 - Existing Defensive Tactics - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					\$ 28,309
<b>Area 04 - Existing Defensive Tactics - DIVISION 09.07.00 - ATHLETIC FLOORING</b>					
Furnish and Install Resilient Athletic Flooring	4,700	SF	\$ 7.20	\$ 33,840	
<b>SUBTOTAL - Area 04 - Existing Defensive Tactics - DIVISION 09.07.00 - ATHLETIC FLOORING</b>					\$ 33,840



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>Area 04 - Existing Defensive Tactics - DIVISION 09.08.00 - PAINT</b>					
Include Paint Interior and Exterior Walls	7,008	SF	\$ 1.80	\$ 12,614	
<b>SUBTOTAL - Area 04 - Existing Defensive Tactics - DIVISION 09.08.00 - PAINT</b>					\$ 12,614
<b>Area 04 - Existing Defensive Tactics - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					
Furnish & Install Rated Fire Extinguisher Cabinets. Include Decals.	3	EA	\$ 247.50	\$ 743	
<b>SUBTOTAL - Area 04 - Existing Defensive Tactics - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					\$ 743
<b>Area 04 - Existing Defensive Tactics - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					
Furnish & Install Panel Signs. Signs shall be ADA Compliant. Include Room Identification Signage.	16	LOC	\$ 75.00	\$ 1,200	
<b>SUBTOTAL - Area 04 - Existing Defensive Tactics - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					\$ 1,200
<b>Area 04 - Existing Defensive Tactics - DIVISION 21.00.00 - FIRE SPRINKLER</b>					
Refit of existing system in specific areas	6,300	SF	\$ 1.85	\$ 11,655	
<b>SUBTOTAL - Area 04 - Existing Defensive Tactics - DIVISION 21.00.00 - FIRE SPRINKLER</b>					\$ 11,655
<b>Area 04 - Existing Defensive Tactics - DIVISION 22.00.00 - PLUMBING</b>					
Plumbing rough-in for Drinking Fountains	1	LS	\$ 7,500.00	\$ 7,500	
Drinking Fountains	2	EA	\$ 1,850.00	\$ 3,700	
<b>SUBTOTAL - Area 04 - Existing Defensive Tactics - DIVISION 22.00.00 - PLUMBING</b>					\$ 11,200
<b>Area 04 - Existing Defensive Tactics - DIVISION 23.00.00 - HVAC</b>					
Include VAV Boxes	4	EA	\$ 1,700.00	\$ 6,800	
Include All New Ductwork	6,300	SF	\$ 5.75	\$ 36,225	
Include Cleaning Existing Grills and Registers	6,300	SF	\$ .25	\$ 1,575	
Include All New 4 Pipe Copper Lines for HVAC	6,300	SF	\$ 4.80	\$ 30,240	
Include Automatic HVAC Temperature Controls	6,300	SF	\$ 5.12	\$ 32,256	
Test and Balance the Systems	6,300	SF	\$ .25	\$ 1,575	
<b>SUBTOTAL - Area 04 - Existing Defensive Tactics - DIVISION 23.00.00 - HVAC</b>					\$ 108,671
<b>Area 04 - Existing Defensive Tactics - DIVISION 26.01.00 - ELECTRICAL</b>					
Include Indoor LED Lighting Fixtures, Fixture Supports, Lighting Controls and Switches	6,300	SF	\$ 9.10	\$ 57,330	
Power Plan and Branch Circuitry	6,300	SF	\$ 4.35	\$ 27,405	
<b>SUBTOTAL - Area 04 - Existing Defensive Tactics - DIVISION 26.01.00 - ELECTRICAL</b>					\$ 84,735
<b>Area 04 - Existing Defensive Tactics - DIVISION 26.02.00 - FIRE ALARM</b>					
Include Fire Alarm Detection and Notification Systems	6,300	SF	\$ 2.25	\$ 14,175	
<b>SUBTOTAL - Area 04 - Existing Defensive Tactics - DIVISION 26.02.00 - FIRE ALARM</b>					\$ 14,175
<b>Area 04 - Existing Defensive Tactics - DIVISION 27.01.00 - TELEDATA</b>					
Include VOIP Phones	16	EA	\$ 450.00	\$ 7,200	
Network Switches	1	EA	\$ 3,500.00	\$ 3,500	
Structured Cabling with Network Outlets/ Server Racks and Equipment	6,300	SF	\$ 3.50	\$ 22,050	
Include Paging System	6,300	SF	\$ 1.20	\$ 7,560	
<b>SUBTOTAL - Area 04 - Existing Defensive Tactics - DIVISION 27.01.00 - TELEDATA</b>					\$ 40,310
<b>Area 04 - Existing Defensive Tactics - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					
Include CCTV System	2	EA	\$ 2,500.00	\$ 5,000	
<b>SUBTOTAL - Area 04 - Existing Defensive Tactics - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					\$ 5,000
<b>Area 05 - Existing Specialty Scenario Training Environments</b>					
<b>Area 05 - Existing Specialty Scenario Training Environments - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					
Include Full-time Supervision, Project Engineering & Project Management. Include Jobsite Trailer. Include Temporary Facilities. Include Dumpsters and Temporary Fencing. Include Jobsite Safety Provisions and Surveys. Include Forklift and Major Equipment.	4	WKS	\$ 14,167.19	\$ 56,669	
<b>SUBTOTAL - Area 05 - Existing Specialty Scenario Training Environments - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					\$ 56,669
<b>Area 05 - Existing Specialty Scenario Training Environments - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					
Include In-wall Wood Blocking for Cabinetry, Specialties, Glazing, and Parapet	250	LF	\$ 4.61	\$ 1,153	
Include Wood Framed Walls for Mock Areas - 8ft	3,560	SF	\$ 1.95	\$ 6,942	
<b>SUBTOTAL - Area 05 - Existing Specialty Scenario Training Environments - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					\$ 8,095
<b>Area 05 - Existing Specialty Scenario Training Environments - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
Cabinet Allowance for Mock Areas	1	ALLOW	\$ 18,240.00	\$ 18,240	
<b>SUBTOTAL - Area 05 - Existing Specialty Scenario Training Environments - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					\$ 18,240
<b>Area 05 - Existing Specialty Scenario Training Environments - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					
Furnish & Install Door Hardware Sets.	12	SETS	\$ 840.00	\$ 10,080	
Furnish WD Panel Doors	12	LEAF	\$ 603.75	\$ 7,245	
Furnish HM Door Frames	12	EA	\$ 420.00	\$ 5,040	
Install (Swing) HM & WD Door Panels.	12	LEAF	\$ 250.00	\$ 3,000	
<b>SUBTOTAL - Area 05 - Existing Specialty Scenario Training Environments - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					\$ 25,365
<b>Area 05 - Existing Specialty Scenario Training Environments - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					
Hang Drywall over Interior Framed Walls	3,560	SF	\$ 1.45	\$ 5,162	
Install HM Door Frames	12	EA	\$ 175.00	\$ 2,100	
<b>SUBTOTAL - Area 05 - Existing Specialty Scenario Training Environments - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					\$ 7,262
<b>Area 05 - Existing Specialty Scenario Training Environments - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					
Furnish & Install Carpet Flooring	275	SY	\$ 50.40	\$ 13,843	
Furnish & Install Resilient Base	890	LF	\$ 2.55	\$ 2,270	
<b>SUBTOTAL - Area 05 - Existing Specialty Scenario Training Environments - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					\$ 16,113
<b>Area 05 - Existing Specialty Scenario Training Environments - DIVISION 09.07.00 - ATHLETIC FLOORING</b>					
Furnish and Install Resilient Athletic Flooring	4,700	SF	\$ 7.20	\$ 33,840	
<b>SUBTOTAL - Area 05 - Existing Specialty Scenario Training Environments - DIVISION 09.07.00 - ATHLETIC FLOORING</b>					\$ 33,840
<b>Area 05 - Existing Specialty Scenario Training Environments - DIVISION 09.08.00 - PAINT</b>					
Include Paint Interior and Exterior Walls	7,008	SF	\$ 1.80	\$ 12,614	
<b>SUBTOTAL - Area 05 - Existing Specialty Scenario Training Environments - DIVISION 09.08.00 - PAINT</b>					\$ 12,614
<b>Area 05 - Existing Specialty Scenario Training Environments - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					
Furnish & Install Rated Fire Extinguisher Cabinets. Include Decals.	3	EA	\$ 247.50	\$ 743	
<b>SUBTOTAL - Area 05 - Existing Specialty Scenario Training Environments - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					\$ 743
<b>Area 05 - Existing Specialty Scenario Training Environments - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					
Furnish & Install Panel Signs. Signs shall be ADA Compliant. Include Room Identification Signage.	16	LOC	\$ 75.00	\$ 1,200	
<b>SUBTOTAL - Area 05 - Existing Specialty Scenario Training Environments - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					\$ 1,200
<b>Area 05 - Existing Specialty Scenario Training Environments - DIVISION 21.00.00 - FIRE SPRINKLER</b>					
Refit of existing system in specific areas	2,472	SF	\$ 1.85	\$ 4,573	
<b>SUBTOTAL - Area 05 - Existing Specialty Scenario Training Environments - DIVISION 21.00.00 - FIRE SPRINKLER</b>					\$ 4,573
<b>Area 05 - Existing Specialty Scenario Training Environments - DIVISION 22.00.00 - PLUMBING</b>					
Install Mock Toilet	1	LS	\$ 550.00	\$ 550	
<b>SUBTOTAL - Area 05 - Existing Specialty Scenario Training Environments - DIVISION 22.00.00 - PLUMBING</b>					\$ 550
<b>Area 05 - Existing Specialty Scenario Training Environments - DIVISION 23.00.00 - HVAC</b>					
Include VAV Boxes	2	EA	\$ 1,700.00	\$ 3,400	
Include All New Ductwork	2,472	SF	\$ 5.75	\$ 14,214	
Include Cleaning Existing Grills and Registers	2,472	SF	\$ .25	\$ 618	
Include All New 4 Pipe Copper Lines for HVAC	2,472	SF	\$ 4.80	\$ 11,866	
Include Automatic HVAC Temperature Controls	2,472	SF	\$ 5.12	\$ 12,657	
Test and Balance the Systems	2,472	SF	\$ .25	\$ 618	
<b>SUBTOTAL - Area 05 - Existing Specialty Scenario Training Environments - DIVISION 23.00.00 - HVAC</b>					\$ 43,372
<b>Area 05 - Existing Specialty Scenario Training Environments - DIVISION 26.01.00 - ELECTRICAL</b>					
Include Indoor LED Lighting Fixtures, Fixture Supports, Lighting Controls and Switches	2,472	SF	\$ 9.10	\$ 22,495	
Power Plan and Branch Circuitry	2,472	SF	\$ 4.35	\$ 10,753	
<b>SUBTOTAL - Area 05 - Existing Specialty Scenario Training Environments - DIVISION 26.01.00 - ELECTRICAL</b>					\$ 33,248
<b>Area 05 - Existing Specialty Scenario Training Environments - DIVISION 26.02.00 - FIRE ALARM</b>					
Include Fire Alarm Detection and Notification Systems	2,472	SF	\$ 2.25	\$ 5,562	
<b>SUBTOTAL - Area 05 - Existing Specialty Scenario Training Environments - DIVISION 26.02.00 - FIRE ALARM</b>					\$ 5,562
<b>Area 05 - Existing Specialty Scenario Training Environments - DIVISION 27.01.00 - TELEDATA</b>					



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
Include VOIP Phones	1	EA	\$ 450.00	\$ 450	
Structured Cabling with Network Outlets/ Server Racks and Equipment	2,472	SF	\$ 3.50	\$ 8,652	
Include Paging System	2,472	SF	\$ 1.20	\$ 2,966	
<b>SUBTOTAL - Area 05 - Existing Specialty Scenario Training Environments - DIVISION 27.01.00 - TELEDATA</b>					\$ 12,068
<b>Area 05 - Existing Specialty Scenario Training Environments - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					
Include CCTV System	2	EA	\$ 2,500.00	\$ 5,000	
<b>SUBTOTAL - Area 05 - Existing Specialty Scenario Training Environments - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					\$ 5,000
<b>Area 06 - Existing Firearms Training and Support Spaces</b>					
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					
Include Full-time Supervision, Project Engineering & Project Management. Include Jobsite Trailer. Include Temporary Facilities. Include Dumpsters and Temporary Fencing. Include Jobsite Safety Provisions and Surveys. Include Forklift and Major Equipment.	32	WKS	\$ 14,167.19	\$ 460,079	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					\$ 460,079
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					
Include Rebar for Linear Footings	704	LF	\$ 6.00	\$ 4,224	
Purchase & Place Concrete - Linear Footings	704	LF	\$ 80.00	\$ 56,320	
Include Concrete Slab Rebar	29,369	SF	\$ .95	\$ 27,901	
Include Concrete Slab on Grade	29,369	SF	\$ 8.60	\$ 252,573	
Include Rebar for Foundations	10,680	SF	\$ 3.45	\$ 36,846	
Purchase & Place Concrete - Foundations	555	CY	\$ 336.02	\$ 186,491	
Include Rebar for Spread Footings	14	EA	\$ 600.00	\$ 8,400	
Include Concrete and Labor for Spread Footings	14	EA	\$ 1,240.00	\$ 17,360	
Include Rebar for Linear Footings 300 yd	704	LF	\$ 6.00	\$ 4,224	
Purchase & Place Concrete - Linear Footings 300 yd	704	LF	\$ 80.00	\$ 56,320	
Include Concrete Precast Baffles 300 yd	13,680	SF	\$ 9.50	\$ 129,960	
Include Rebar for Foundations 300 yd	22,032	SF	\$ 3.45	\$ 76,010	
Purchase & Place Concrete - Foundations 300yd	1,836	LF	\$ 161.40	\$ 296,330	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					\$ 1,152,959
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					
Include Structural Steel	29,369	SF	\$ 2.16	\$ 63,437	
Furnish and Erect Metal Decking	29,369	SF	\$ 5.65	\$ 165,935	
Furnish and Erect Metal Joists	29,369	SF	\$ 6.75	\$ 198,241	
Include Connections, Embeds and Plates and Misc Metals	3	TONS	\$ 3,050.00	\$ 9,150	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					\$ 436,763
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					
Include In-wall Wood Blocking for Cabinetry, Specialties, Glazing, and Parapet	650	LF	\$ 4.61	\$ 2,997	
Include Treated Plywood - Elec. Rooms	120	SF	\$ 4.25	\$ 510	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					\$ 3,507
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					
Range Allowance for Countertops and Millwork	1	Allow	\$ 9,600.00	\$ 9,600	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					\$ 9,600
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 07.02.00 - BUILDING INSULATION</b>					
Include Acoustical Batt Insulation integral to Interior Partitions.	5,172	SF	\$ 1.25	\$ 6,465	
Furnish & Install Rigid Insulation - Foundation, Parking Deck and Metal Stud Walls	10,815	SF	\$ 2.66	\$ 28,768	
Furnish & Install Thermal Batt Insulation - Exterior Walls.	2,112	SF	\$ 2.80	\$ 5,914	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 07.02.00 - BUILDING INSULATION</b>					\$ 41,147
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 07.03.00 - ROOFING</b>					



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
Include TPO Membrane System. Include Tapered Rigid Insulation. Include Protection Board. Include Walkpads. Include Roofing at Reverse-side of Parapet Walls. Include Integral Flashings, Reglets & Scuppers.	29,369	SF	\$ 8.90	\$ 261,384	
Include Roofing Parapet Cap	704	LF	\$ 12.45	\$ 8,765	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 07.03.00 - ROOFING</b>					\$ 270,149
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 07.05.00 - SIDING</b>					
Stucco Over Exterior Insulation	10,815	SF	\$ 9.61	\$ 103,932	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 07.05.00 - SIDING</b>					\$ 103,932
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					
Furnish & Install Door Hardware Sets.	10	SETS	\$ 840.00	\$ 8,400	
Furnish HM Door Frames	10	EA	\$ 420.00	\$ 4,200	
Install (Swing) HM & WD Door Panels.	10	LEAF	\$ 250.00	\$ 2,500	
Furnish and Install HM Doors	10	LEAF	\$ 455.00	\$ 4,550	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					\$ 19,650
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 08.02.00 - OVERHEAD COILING DOORS</b>					
Motorized Overhead Sectional Door for Mock Vehicle Training	1	LS	\$ 3,000.00	\$ 3,000	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 08.02.00 - OVERHEAD COILING DOORS</b>					\$ 3,000
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					
Construct Interior Gyp. Board Partitions - Non-rated.	5,172	SF	\$ 6.75	\$ 34,911	
Furnish and Install Gyp Board at Dorm Areas, Showers, Bathrooms, Housekp	225	SF	\$ 6.20	\$ 1,395	
Install HM Door Frames	10	EA	\$ 175.00	\$ 1,750	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					\$ 38,056
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					
Furnish New Grid and Ceiling Tiles	1,600	SF	\$ 4.60	\$ 7,360	
Furnish New Grid and Ceiling Tiles in Circulation	1,000	SF	\$ 6.25	\$ 6,250	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					\$ 13,610
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 09.05.00 - CERAMIC TILE</b>					
Include Floor Tile in Restrooms	225	SF	\$ 11.00	\$ 2,475	
Include Wall Tile in Restrooms	366	SF	\$ 18.00	\$ 6,588	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 09.05.00 - CERAMIC TILE</b>					\$ 9,063
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					
Furnish & Install Carpet Flooring	289	SY	\$ 50.40	\$ 14,560	
Furnish & Install Resilient Base	860	LF	\$ 2.55	\$ 2,193	
Include Flooring Transitions	1	Lot	\$ 250.00	\$ 250	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 09.06.00 - RESILIENT FLOORING &amp; CARPET</b>					\$ 17,003
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 09.08.00 - PAINT</b>					
Include Paint Interior and Exterior Walls along with gyp ceilings	10,344	SF	\$ 1.80	\$ 18,619	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 09.08.00 - PAINT</b>					\$ 18,619
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 10.04.00 - TOILET ACCESSORIES</b>					
Furnish & Install Hand Dryers with Recess Kits.	2	EA	\$ 512.00	\$ 1,024	
Furnish & Install Toilet Tissue Dispensers.	2	EA	\$ 75.00	\$ 150	
Furnish & Install Grab Bars.	6	EA	\$ 90.00	\$ 540	
Furnish & Install Framed Mirrors	2	EA	\$ 125.00	\$ 250	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 10.04.00 - TOILET ACCESSORIES</b>					\$ 1,964
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					
Furnish & Install Rated Fire Extinguisher Cabinets. Include Decals.	7	EA	\$ 247.50	\$ 1,733	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 10.05.00 - FIRE PROTECTION SPECIALTIES</b>					\$ 1,733
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					
Furnish & Install Panel Signs. Signs shall be ADA Compliant. Include Room Identification Signage.	10	LOC	\$ 75.00	\$ 750	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 10.06.00 - SIGNAGE / IDENTIFICATION DEVICES</b>					\$ 750
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 10.11.00 - UNIT LOCKERS</b>					
Range Lockers	25	LF	\$ 275.00	\$ 6,875	



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 10.11.00 - UNIT LOCKERS</b>					\$ 6,875
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 11.05.00 - SHOOTING RANGE EQUIPMENT</b>					
Include Interior Range Staging, Baffles, Back Stop and Target System	1	LS	\$ 1,050,000.00	\$ 1,050,000	
Include Exterior 300 Yd Range Staging, Baffles, Back Stop and Target System	1	LS	\$ 219,000.00	\$ 219,000	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 11.05.00 - SHOOTING RANGE EQUIPMENT</b>					\$ 1,269,000
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 21.00.00 - FIRE SPRINKLER</b>					
Not Sure Fire Sprinklers are required	29,369	SF	\$ 4.15	\$ 121,881	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 21.00.00 - FIRE SPRINKLER</b>					\$ 121,881
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 22.00.00 - PLUMBING</b>					
Plumbing rough-in for New Dormitory with Roof Drains	29,369	SF	\$ 6.37	\$ 187,081	
Wall Mounted Lavatory	2	EA	\$ 1,450.00	\$ 2,900	
Fixture Allowance	2	EA	\$ 435.00	\$ 870	
Drinking Fountains	1	EA	\$ 1,850.00	\$ 1,850	
Floor Drains	2	EA	\$ 450.00	\$ 900	
Toilet	2	EA	\$ 1,650.00	\$ 3,300	
Urinals	1	EA	\$ 1,070.00	\$ 1,070	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 22.00.00 - PLUMBING</b>					\$ 197,971
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 23.00.00 - HVAC</b>					
Include Air Exchanger and Exhaust for Range	1	LS	\$ 36,000.00	\$ 36,000	
Include Unit Heaters	2	EA	\$ 3,500.00	\$ 7,000	
Include Evaporative Coolers	2	EA	\$ 4,100.00	\$ 8,200	
Include Gas Lines	1	LS	\$ 10,500.00	\$ 10,500	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 23.00.00 - HVAC</b>					\$ 61,700
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 26.01.00 - ELECTRICAL</b>					
Include Indoor LED Lighting Fixtures, Fixture Supports, Lighting Controls and Switches	29,369	SF	\$ 9.10	\$ 267,258	
Branch Panels	1	LS	\$ 8,500.00	\$ 8,500	
Panel Feeders	1	LS	\$ 9,200.00	\$ 9,200	
Exterior Lighting - Wall Mounted	10	EA	\$ 650.00	\$ 6,500	
Power Plan and Branch Circuitry	29,369	SF	\$ 4.35	\$ 127,755	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 26.01.00 - ELECTRICAL</b>					\$ 419,213
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 26.02.00 - FIRE ALARM</b>					
Include Fire Alarm Detection and Notification Systems	29,369	SF	\$ 2.25	\$ 66,080	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 26.02.00 - FIRE ALARM</b>					\$ 66,080
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 27.01.00 - TELEDATA</b>					
Include VOIP Phones	6	EA	\$ 450.00	\$ 2,700	
Network Switches	1	EA	\$ 3,500.00	\$ 3,500	
Structured Cabling with Network Outlets/ Server Racks and Equipment	29,369	SF	\$ 3.50	\$ 102,792	
Include Paging System	29,369	SF	\$ 1.20	\$ 35,243	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 27.01.00 - TELEDATA</b>					\$ 144,234
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					
Include Security / Access Control System	1	EA	\$ 2,000.00	\$ 2,000	
Include Card Readers.	2	EA	\$ 2,500.00	\$ 5,000	
Include CCTV System	8	EA	\$ 2,500.00	\$ 20,000	
Include Security Door Contacts	2	EA	\$ 200.00	\$ 400	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 27.02.00 - SECURITY &amp; ACCESS CONTROL</b>					\$ 27,400
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 31.02.00 - EARTHWORK</b>					
Excavate Building Footprint and Construct Building Pad using Select Structural Fill (Assumed to be on-site). Excavate to allow for a 48" layer of select fill with a 5'-0" off-set. Include Proof-roll, scarify, compact, and install select fill (10-20 PI) in 9" lifts compacted to 95%.	29,369	SF	\$ 3.13	\$ 91,925	
Include Helical Piers	1	LS	\$ 225,280.00	\$ 225,280	
Rough and Final Grade of Building and New Adjacent Parking	3,967	CY	\$ 12.00	\$ 47,603	
Rough and Final Grade of 300 Yd Range	12,000	CY	\$ 12.00	\$ 144,000	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 31.02.00 - EARTHWORK</b>					\$ 508,808
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					
Include Pavement Striping. Layout and Stripe Parking Areas.	1	LS	\$ 5,000.00	\$ 5,000	
Include Handicap Signs on 2" diameter Aluminum Posts.	2	EA	\$ 205.00	\$ 410	
Include Pavement Markings. Include Handicap Stencils on 4'-0" x 4'-0" Blue Background. Include Arrows, control Lines in Drives.	2	EA	\$ 45.00	\$ 90	



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					\$ 5,500
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 32.03.00 - SITE CONCRETE</b>					
Construct Site Concrete/Sidewalk 4"	1,350	SF	\$ 4.59	\$ 6,197	
Construct Site Concrete 6" curb w 24" gutter	270	LF	\$ 19.20	\$ 5,184	
Construct New Parking	950	SF	\$ 8.45	\$ 8,028	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 32.03.00 - SITE CONCRETE</b>					\$ 19,408
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 33.00.00 - SITE UTILITIES</b>					
Include Underground Storm Drain	550	LF	\$ 85.00	\$ 46,750	
Include Storm Drain Boxes and Inlets	4	EA	\$ 6,500.00	\$ 26,000	
Include Fire Hydrant	1	EA	\$ 8,500.00	\$ 8,500	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 33.00.00 - SITE UTILITIES</b>					\$ 147,250
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 32.06.00 - LANDSCAPING / IRRIGATION</b>					
Natural Seeded Area	15,000	SF	\$ .28	\$ 4,200	
Include Sleeves for Irrigation Systems.	1	LS	\$ 750.00	\$ 750	
Include Large Stone Ground Cover for Dry Scape Areas with Weed Prevention	650	SF	\$ 2.65	\$ 1,723	
Include Plantings - 3 gallon	25	EA	\$ 25.00	\$ 625	
Include Plantings - Grasses	15	EA	\$ 25.00	\$ 375	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 32.06.00 - LANDSCAPING / IRRIGATION</b>					\$ 7,673
<b>Area 06 - Existing Firearms Training and Support Spaces - DIVISION 33.00.00 - SITE UTILITIES</b>					
Include Site Utilities New Water Connection and Sewer	550	LF	\$ 75.00	\$ 41,250	
Include Gas Line	550	LF	\$ 45.00	\$ 24,750	
<b>SUBTOTAL - Area 06 - Existing Firearms Training and Support Spaces - DIVISION 33.00.00 - SITE UTILITIES</b>					\$ 147,250
<b>Area 07 - Existing Tactical Village Training</b>					
<b>Area 07 - Existing Tactical Village Training - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					
Include Full-time Supervision, Project Engineering & Project Management. Include Jobsite Trailer. Include Temporary Facilities. Include Dumpsters and Temporary Fencing. Include Jobsite Safety Provisions and Surveys. Include Forklift and Major Equipment.	35	WKS	\$ 14,167.19	\$ 490,751	
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					\$ 490,751
<b>Area 07 - Existing Tactical Village Training - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					
Include Concrete Slab on Grade	44,734	SF	\$ 5.75	\$ 257,221	
Include Rebar for Linear Footings	1,014	LF	\$ 4.00	\$ 4,056	
Purchase & Place Concrete -	1,014	LF	\$ 80.00	\$ 81,120	
Include Rebar for Foundations	3,042	SF	\$ 3.45	\$ 10,495	
Purchase & Place Concrete - Foundations Large	1,014	LF	\$ 64.26	\$ 65,156	
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 03.01.00 - CIP AND TILT-UP CONCRETE &amp; REBAR</b>					\$ 418,047
<b>Area 07 - Existing Tactical Village Training - DIVISION 04.01.00 - UNIT MASONRY</b>					
Include CMU for Mock School	7,320	SF	\$ 18.00	\$ 131,760	
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 04.01.00 - UNIT MASONRY</b>					\$ 131,760
<b>Area 07 - Existing Tactical Village Training - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					
Include Structural Steel	9,600	SF	\$ 5.30	\$ 50,880	
Furnish and Erect Metal Decking (Roofing)	9,600	SF	\$ 5.65	\$ 54,240	
Furnish and Erect Metal Joists	9,600	SF	\$ 6.75	\$ 64,800	
Include Connections, Embeds and Plates	2	TONS	\$ 3,050.00	\$ 5,948	
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 05.01.00 - STRUCTURAL STEEL / MISC. METALS / METAL DECK</b>					\$ 175,868
<b>Area 07 - Existing Tactical Village Training - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					
Include In-wall Wood Blocking for Cabinetry, Specialties, Glazing, and Parapet	539	LF	\$ 4.61	\$ 2,486	
Include Framing for Tactical Village Buildings	32,629	SF	\$ 17.50	\$ 571,008	
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 06.01.00 - ROUGH CARPENTRY</b>					\$ 573,494
<b>Area 07 - Existing Tactical Village Training - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					
Include Teacher Cabinets	15	LF	\$ 750.00	\$ 11,250	
Include Plam Cabinetry Uppers	60	LF	\$ 290.00	\$ 17,400	
Include Plam Cabinet Lower includes plam countertop	60	LF	\$ 480.00	\$ 28,800	



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 06.02.00 - MILLWORK &amp; TRIM</b>					\$ 57,450
<b>Area 07 - Existing Tactical Village Training - DIVISION 07.03.00 - ROOFING</b>					
Include TPO Membrane with Protection Board only with scuppers for Drains	15,979	SF	\$ 3.15	\$ 50,334	
Include Roofing Parapet Cap	1,202	LF	\$ 12.45	\$ 14,965	
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 07.03.00 - ROOFING</b>					\$ 65,299
<b>Area 07 - Existing Tactical Village Training - DIVISION 07.05.00 - SIDING</b>					
Include Stucco Siding at Mock Buildings	12,020	SF	\$ 5.10	\$ 61,302	
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 07.05.00 - SIDING</b>					\$ 61,302
<b>Area 07 - Existing Tactical Village Training - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					
Furnish & Install Door Hardware Sets.	35	SETS	\$ 840.00	\$ 29,400	
Furnish WD Panel Doors	35	LEAF	\$ 603.75	\$ 21,131	
Furnish HM Door Frames	35	EA	\$ 420.00	\$ 14,700	
Install (Swing) HM & WD Door Panels.	35	LEAF	\$ 250.00	\$ 8,750	
Furnish and Install HM Doors	5	LEAF	\$ 455.00	\$ 2,275	
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 08.01.00 - DOORS, FRAMES &amp; HW</b>					\$ 76,256
<b>Area 07 - Existing Tactical Village Training - DIVISION 08.03.00 - GLASS &amp; GLAZING</b>					
Aluminum Storefront Interior Glazing	200	SF	\$ 45.00	\$ 9,000	
Aluminum Storefront Single Pane	1,803	SF	\$ 56.00	\$ 100,968	
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 08.03.00 - GLASS &amp; GLAZING</b>					\$ 109,968
<b>Area 07 - Existing Tactical Village Training - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					
Construct Interior Gyp. Board Partitions - Non-rated.	7,320	SF	\$ 6.75	\$ 49,410	
Include Gypsum Board to Framed Members	4,896	SF	\$ 1.35	\$ 6,610	
Furnish and Install Gyp Board at Motel and School RR	3,579	SF	\$ 6.20	\$ 22,190	
Install HM Door Frames	39	EA	\$ 175.00	\$ 6,825	
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 09.02.00 - FRAMING, DRYWALL, GFRG &amp; FRP</b>					\$ 85,034
<b>Area 07 - Existing Tactical Village Training - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					
Furnish New Grid and Ceiling Tiles	12,600	SF	\$ 4.60	\$ 57,960	
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 09.03.00 - GRID CEILING SYSTEMS</b>					\$ 57,960
<b>Area 07 - Existing Tactical Village Training - DIVISION 09.08.00 - PAINT</b>					
Include Paint Interior and Exterior Walls	23,115	SF	\$ 1.80	\$ 41,607	
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 09.08.00 - PAINT</b>					\$ 41,607
<b>Area 07 - Existing Tactical Village Training - DIVISION 10.03.00 - TOILET PARTITIONS</b>					
Furnish and Install Toilet Partitions	2	STALL	\$ 900.00	\$ 1,800	
Furnish and Install Urinal Screens	1	STALL	\$ 320.00	\$ 320	
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 10.03.00 - TOILET PARTITIONS</b>					\$ 2,120
<b>Area 07 - Existing Tactical Village Training - DIVISION 22.00.00 - PLUMBING</b>					
Mock Lavatory	4	EA	\$ 250.00	\$ 1,000	
Mock Toilet	3	EA	\$ 550.00	\$ 1,650	
Mock Urinals	3	EA	\$ 600.00	\$ 1,800	
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 22.00.00 - PLUMBING</b>					\$ 4,450
<b>Area 07 - Existing Tactical Village Training - DIVISION 26.01.00 - ELECTRICAL</b>					
Include Indoor LED Lighting Fixtures, Fixture Supports, Lighting Controls and Switches	15,979	SF	\$ 9.10	\$ 145,409	
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 26.01.00 - ELECTRICAL</b>					\$ 145,409
<b>Area 07 - Existing Tactical Village Training - DIVISION 31.02.00 - EARTHWORK</b>					
Excavate Building Footprint and Construct Building Pad using Select Structural Fill (Assumed to be on-site). Excavate to allow for a 48" layer of select fill with a 5'-0" off-set. Include Proof-roll, scarify, compact, and install select fill (10-20 Pl) in 9" lifts compacted to 95%.	44,734	SF	\$ 3.13	\$ 140,017	
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 31.02.00 - EARTHWORK</b>					\$ 140,017
<b>Area 07 - Existing Tactical Village Training - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					
Include Pavement Striping.	1	LS	\$ 15,000.00	\$ 15,000	
Include Traffic Control Signs. Include Schedule 40 Galvanized Posts.	15	EA	\$ 205.00	\$ 3,075	
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					\$ 18,075



ITEM DESCRIPTION:	Qty:	Unit:	Unit Price:	Total:	Group Total:
<b>Area 07 - Existing Tactical Village Training - DIVISION 32.03.00 - SITE CONCRETE</b>					
Construct Site Concrete/Sidewalk 4"	700	SF	\$ 4.59	\$ 3,213	
Construct New Paving around Tactical Village	72,000	SF	\$ 6.67	\$ 480,000	
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 32.03.00 - SITE CONCRETE</b>					\$ 483,213
<b>Area 07 - Existing Tactical Village Training - DIVISION 33.00.00 - SITE UTILITIES</b>					
Include Water Lines for Hydrants	1,820	LF	\$ 45.00	\$ 81,900	
Include Fire Hydrant	4	EA	\$ 8,500.00	\$ 34,000	
<b>SUBTOTAL - Area 07 - Existing Tactical Village Training - DIVISION 33.00.00 - SITE UTILITIES</b>					\$ 115,900
<b>Area 08 - Existing EVOC Driving Track, Skills / Skid Pad</b>					
<b>Area 08 - Existing EVOC Driving Track, Skills / Skid Pad - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					
Include Full-time Supervision, Project Engineering & Project Management. Include Jobsite Trailer. Include Temporary Facilities. Include Dumpsters and Temporary Fencing. Include Jobsite Safety Provisions and Surveys. Include Forklift and Major Equipment.	43	WKS	\$ 14,167.19	\$ 613,439	
<b>SUBTOTAL - Area 08 - Existing EVOC Driving Track, Skills / Skid Pad - DIVISION 01.01.00 - GENERAL CONDITIONS</b>					\$ 613,439
<b>Area 08 - Existing EVOC Driving Track, Skills / Skid Pad - DIVISION 12.04.00 - PEMB</b>					
Include PEMBs complete with Concrete, Insulation and Power for EVOC equipment	20,360	SF	\$ 55.00	\$ 1,119,800	
<b>SUBTOTAL - Area 08 - Existing EVOC Driving Track, Skills / Skid Pad - DIVISION 12.04.00 - PEMB</b>					\$ 1,119,800
<b>Area 08 - Existing EVOC Driving Track, Skills / Skid Pad - DIVISION 31.02.00 - EARTHWORK</b>					
Rough Grade and Level Lot	1,188,569	CY	\$ 6.19	\$ 7,355,003	
Prep for concrete paving	226,314	SF	\$ 1.00	\$ 226,314	
Road base for Skills Pad	236,110	SF	\$ .77	\$ 181,923	
Include Gravel Top for Skills Pad	236,110	SF	\$ .39	\$ 91,821	
Grade and Base for New Road To EVOC Course	81,337	SF	\$ 1.67	\$ 135,833	
Include Mobilization to Job Site	1	EA	\$ 15,000.00	\$ 15,000	
<b>SUBTOTAL - Area 08 - Existing EVOC Driving Track, Skills / Skid Pad - DIVISION 31.02.00 - EARTHWORK</b>					\$ 8,005,893
<b>Area 08 - Existing EVOC Driving Track, Skills / Skid Pad - DIVISION 32.01.00 - BITUMINOUS PAVING</b>					
Construct Bituminous Paving.	84,337	SF	\$ 3.35	\$ 282,529	
<b>SUBTOTAL - Area 08 - Existing EVOC Driving Track, Skills / Skid Pad - DIVISION 32.01.00 - BITUMINOUS PAVING</b>					\$ 282,529
<b>Area 08 - Existing EVOC Driving Track, Skills / Skid Pad - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					
Include Pavement Striping. Layout and Stripe Parking Areas.	1	LS	\$ 5,000.00	\$ 5,000	
Include Traffic Control Signs Include Schedule 40 Galvanized Posts.	4	EA	\$ 650.00	\$ 2,600	
<b>SUBTOTAL - Area 08 - Existing EVOC Driving Track, Skills / Skid Pad - DIVISION 32.02.00 - PAVEMENT MARKINGS</b>					\$ 7,600
<b>Area 08 - Existing EVOC Driving Track, Skills / Skid Pad - DIVISION 32.03.00 - SITE CONCRETE</b>					
Construct Site Concrete Driving Track	205,740	SF	\$ 6.67	\$ 1,371,600	
Include Guard Rail at River Corner	740	LF	\$ 30.00	\$ 22,200	
<b>SUBTOTAL - Area 08 - Existing EVOC Driving Track, Skills / Skid Pad - DIVISION 32.03.00 - SITE CONCRETE</b>					\$ 1,393,800
<b>Area 08 - Existing EVOC Driving Track, Skills / Skid Pad - DIVISION 32.04.00 - BLOCK RETENTION</b>					
Install Block Retention to facilitate level Track	22,450	SF	\$ 28.00	\$ 628,600	
<b>SUBTOTAL - Area 08 - Existing EVOC Driving Track, Skills / Skid Pad - DIVISION 32.04.00 - BLOCK RETENTION</b>					\$ 628,600
<b>Area 08 - Existing EVOC Driving Track, Skills / Skid Pad - DIVISION 32.06.00 - LANDSCAPING / IRRIGATION</b>					
Include Seeding Native Vegetation	2,100,000	SF	\$ .16	\$ 336,000	
<b>SUBTOTAL - Area 08 - Existing EVOC Driving Track, Skills / Skid Pad - DIVISION 32.06.00 - LANDSCAPING / IRRIGATION</b>					\$ 336,000
<b>Area 08 - Existing EVOC Driving Track, Skills / Skid Pad - DIVISION 33.00.00 - SITE UTILITIES</b>					
Include Site Utilities New Water Connection	5,308	LF	\$ 35.00	\$ 185,780	
Include Power for New EVOC Buildings	5,308	LF	\$ 45.00	\$ 238,860	
Include Site Utilities Septic System	1	Allow	\$ 15,000.00	\$ 15,000	
Include Fire Hydrants	2	EA	\$ 8,500.00	\$ 17,000	
<b>SUBTOTAL - Area 08 - Existing EVOC Driving Track, Skills / Skid Pad - DIVISION 33.00.00 - SITE UTILITIES</b>					\$ 456,640



## Architectural Assessment

### Background and History

The Wyoming Law Enforcement Academy campus located at 1556 N Riverbend Drive in Douglas, Wyoming was designed in 1982 and completed in 1984. The building is central to training law enforcement students within the State of Wyoming, as well as students in the region. Additionally, various regional law enforcement agencies use the building as a host site for other training programs.

The facility is highly visible from both I-25 and Highway 59 on the west end of Douglas. The visibility is created by very challenging steep topography immediately surrounding the existing facility. The hilly terrain restricts the options available for growth of the academy within the bounds of the property. There is only one roadway into the property, on a narrow sliver of land parallel to the Highway 59. More site descriptions and challenges can be found within the Site Assessment portion of this report.



WLEA Entry Sign and Access Roadway in the Background

## Main Building

The main building is 80,221 square feet. The square footage of each space within the building is broken out in the attached programming document. In general terms, the building is a structural steel building with face brick veneer. Around the perimeter of many areas of the building soil is bermed against the building. This typical condition can be seen in the photo below.



The Southwest Elevation of the Main Building at the Dormitory Area

The primary functional spaces of the building are office/admin, gymnasium/physical fitness, firing range, classrooms, kitchen/dining, and dormitories. Along with these spaces are the necessary mechanical, electrical, plumbing, laundry, and janitorial support spaces. There is an exterior courtyard between the dining and dormitory areas.

Since 1982, the building has experienced some differential movement that can be seen in cracking in the masonry veneer in various locations around the perimeter of the building. Some of this can be attributed to the poor soils and differential subgrade materials under the building footprint. In addition, the building originally housed a swimming pool that leaked water under the building. This has also been identified as a contributing factor to the differential movement

## ARCHITECTURAL ASSESSMENT

in the Forensic Structural Investigation and Space Needs Study by Gorder South Group (GSG), Wiss, Janey, Elstner Associates (WJE), and CTL/Thompson, dated September 28, 2001. In 2006 the pool was removed, infilled, and covered with a cast-in-place concrete slab. The exterior masonry cracking was repaired and re-pointed and moving cracks competently addressed. More detail can be found in the Structural Assessment section of this report.

It is important to note that the above mentioned 2001 report only looked 5 years out pertaining to space needs assessment. At that time, the lack in space was estimated by simply multiplying the square footage of the building by 25%. This report did not include an extensive programming analysis. Teaching methodologies, technology and agency needs have dramatically changed in the past two decades. The Level I and Level II study undertaken at this time is greatly needed to define current needs, as well as provide a focused projection of needs 5 years and 20 years in the future. This report assesses the existing facility, articulates the most advantageous project approach, identifies the Most Cost-Effective Remedy (MCER) and defines the programmatic needs now and 5 and 20 years into the future.

It is important to note that the facility has been meticulously maintained over the years. For example, the brick and concrete repair recommendations of the 2001 report were thoroughly implemented. This, along with the high level of daily maintenance, has allowed the building to remain in service much longer than if there was not such detailed care.



Multipurpose Room – Formerly the Swimming Pool – Clean and Well Maintained

## Various Functions Within the Existing Building

**Indoor Firing Range.** There are twelve shooting stalls and lanes in the indoor firing range. Behind the lanes are a ready room, cleaning and breakdown stations and firearm locker storage area. Windows allow observation of the firing range from the ready room and the centrally located target retrieval system control booth. The target retrieval and shooting stall equipment in the firing range is from different manufacturers. Staff explained that various components are no longer manufactured and the whole system is “on its last leg”.

The existing indoor firing range is an older design that is not appropriate for modern police training and best practices. It incorporates shooting stalls for stand-and-shoot training or qualifications from the 25yd line, and a ceiling mounted target retrieval system that can move the targets to different shooting distances. Modern tactical law enforcement firing ranges anticipate trainees and instructors moving downrange in course of fire scenarios, and shooting stalls hinder the effectiveness of the firing range.

The bullet trap is a steel escalator trap, which introduces significant aerosolized lead and particulates into the range environment. Test reports have shown that much of the aerosolized lead is not recovered by the range exhaust and filtration system. The air supply at the back of the range appears limited, from ceiling supply registers, and significant air supply should be supplied in a laminar air flow (75fpm), and move downrange to be exhausted above the bullet trap at no less than 30fpm to avoid lead and particulates falling out of the air.

The current indoor range does not accommodate vehicle access for use as a training prop, which the current training for increasing realistic training scenarios.



View from the Trap Looking Back at the Lane Partitions

# ARCHITECTURAL ASSESSMENT



Ready Room for Indoor Firing Range



The Bullet Trap and Targets

## ARCHITECTURAL ASSESSMENT

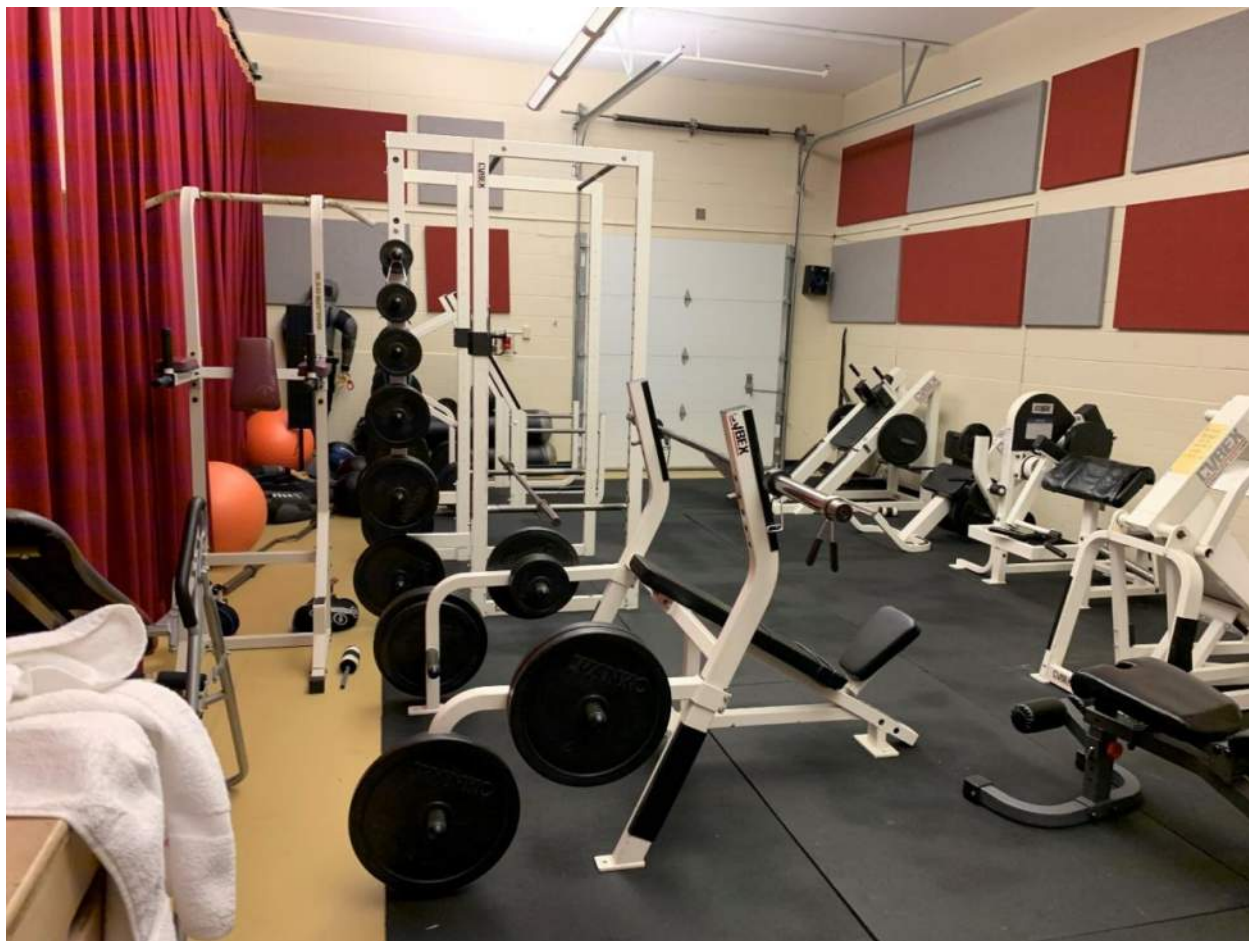
**Gymnasium and Physical Fitness.** The gymnasium is composed of painted concrete block walls, resilient rubberized sport flooring, telescoping bleachers along a portion of one wall, crash pads with acoustical panels mounted above. Although the gymnasium includes a full basketball court and score board, it is rarely used for this purpose. The gymnasium is used primarily for defensive tactic training and for testing of students for the running requirements. Wrestling mats are moved in and out for defensive tactics training. The floor striping track around the perimeter of the gymnasium is used for this running test but is too small for the intended use. During this test, students have difficulty navigating the small narrow track and sharp corners especially when passing other runners. During graduation, the telescoping bleachers in the gymnasium are extended and chairs placed in the gym to accommodate as many as possible (approx. 200).



The Gymnasium with the Wrestling Mats Out. During the Running Fitness Test Students Must Run Around the Orange Cones at the Corners (Pictured Above at the Far Side).

## ARCHITECTURAL ASSESSMENT

The north portion of the Multipurpose Room is a weightlifting area that is separated by a heavy cloth curtain lacking effective noise separation. The two spaces are generally not used simultaneously. Additionally, there is also aerobic equipment in another separate exercise room available for students.



The Weightlifting Area North of the Multipurpose Room Separated by a Curtain

## ARCHITECTURAL ASSESSMENT

**Classrooms.** There are two tiered classrooms with 42 seats each, a single flat classroom with moveable furniture with approximately 40 seats and a moveable partition and a separate computer testing lab with 40 individual computer stations. Greater capacities, flexibility and newer technology are anticipated.



One of Two Tiered Classrooms



Computer Testing Classroom



## ARCHITECTURAL ASSESSMENT

**Dormitories.** The main building contains 110 beds in the two-story dormitory section in the southwest corner of the building. Two former dormitory rooms on the northwest corner of the dormitory portion of the building were repurposed as MILO simulators. Four units were designed specifically as “handicap units”. However, they do not meet ADA requirements. Both the students and visiting instructors use these dormitories.

The dormitories’ adjacency to the Dining Area allows for ease of getting meals served. It also permits student to easily return to their dorm rooms to shower after physical training. This is preferred by the students and takes some of the load off the locker rooms by the gymnasium.



Typical Dormitory Room with Two Beds



Typical Dormitory Restroom

## ARCHITECTURAL ASSESSMENT

**Kitchen and Dining Area.** The Kitchen accommodates cooking and serving three meals a day. The kitchen has no more room for additional cooking or preparation equipment. There is adjacent frozen and refrigerated walk-in units. Both units are full to capacity and require more than one delivery a week to keep up with the meal demand and still have space to store the food. Food is delivered from the exterior doors to the west. The undersized dish and tray return area is awkwardly placed in front of the entry doors into the Dining Area and creates a bottleneck of people coming and going. A makeshift food service workstation is crammed into the coat area.



Kitchen is Full of Cooking and Preparation Equipment



Functional Space within the Kitchen is Limited

## ARCHITECTURAL ASSESSMENT

The Dining Area can accommodate 125 people at any one time with the tables and chairs available in the space. When the number of daily occupants exceeds 125, lunches are staggered to allow sufficient seating. Meals are typically served via serving line with Kitchen staff filling the plates. Additionally, a moveable cold salad and condiment bar and drink station have moved from the serving line area into the adjacent dining area.



Serving Line Adjacent to Kitchen and Dining Area

## ARCHITECTURAL ASSESSMENT

**Courtyard.** Immediately exterior to the Dining Area and fully internal to the building is a triangular courtyard. The Dining Area looks out into the courtyard through full height aluminum storefront glazed assemblies. It is surrounded on two sides at ground level by clerestory windows in the lower floor dormitories and by the upper floor dormitory windows. Benches and landscaping create a pocket park of sorts.



Courtyard with Central Art Piece and Benches and Landscaping

Central to the courtyard is a painted globe art piece entitled Order/Disorder by Dick Termes from 1985. It was lowered into position by a helicopter pictured below:



Photos on the Wall Commemorating the Placement of the Art Piece

## Main Building Elements

### Code Analysis

For the purposes of the Level 1 Study/Report, the current Wyoming Law Enforcement Academy facilities have been reviewed under the 2018 International Building Code (IBC) and the corresponding ICC codes per discipline. If partial remodeling is to take place, the 2018 International Existing Building Code (IEBC) could apply and reduce some of the requirements at strategic locations.

The 2010 ADA Standards for Accessible Design are federally mandated design standards that apply to all buildings within the United States and supersede any locally enforced codes. They address a broad spectrum of interior and exterior building elements to make the building accessible and useable by persons with various disabilities. These standards would be enforced upon remodel of this building. The first version of these codes was introduced on July 26, 1990, six years after this building was built.

### General Building Information

The building was originally designed in accordance with the Uniform Building Code, likely the 1979 or 1982 edition. This code is no longer in use. However, some of the building analysis techniques are similar to current building codes. According to the 2018 International Building Code the Building Type is IIA, with fire sprinklers throughout the building. The building was designed and built with 2 hour rated area separation walls to divide the overall building into 3 separate “buildings” of different occupancy classifications – B, R-2, and A-3. The areas below were calculated to verify basic allowable area compliance with 2018 IBC Table 506.2 without calculating additional available allowable area factor increases for frontage and access to the public way.

Allowable Area SF (without area increase)	Existing Separated Area SF	Compliant Y/N
B Occupancy is 150,000 SF	27,683 SF	Yes
R-2 Occupancy is 72,000 SF	25,981 SF	Yes
A-3 Occupancy is 62,000 SF	26,557 SF	Yes
Overall Main Building Area	80,221 SF	

The limiting requirement for number of stories above grade per occupancy type is 4 stories. The building is 2 stories and therefore compliant.

The limiting requirement for building height is **85'-0" above grade** plane. At its highest point, the building is **33'-8" above the** grade plane as defined in the 2018 IBC and therefore compliant.

## Occupant Load and Egress

Per the 2018 International Building Code, the main building is a mixed occupancy of Groups B, R-2 and A-3. It has an existing total calculated occupant load of 2,201. The required exit width is 440.2". There are 11 exits out of the building totaling 540" in egress width. Therefore, the building is compliant with this requirement.

Not every egress pathway within the building is below the maximum common path of egress travel distances as defined in 2018 IBC Table 1006.2.1. Both the Multi-purpose Room and the **Gymnasium require another exterior exit out of the space within 75' of the exiting the space.** The interior courtyard is not considered a location of safe exit during an emergency. The doors are not labeled "Not An Exit".

There is no elevator in the building to provide egress for occupants on the second floor of the dormitory area of the main building.

## Other Code Requirements

Table 508.4 requires separations between the A-3, B, and R-2 occupancies. However, the fully sprinklered existing building with the allowable area factor increase based on frontage of 75% allows 108,500SF under the most restrictive occupancy of A-3. Per 903.2.1.3, A-3 occupancies more than 12,000 SF require an automatic fire sprinkler system throughout the building. If a remodel of the existing building is selected, the entire existing fully sprinklered building (80,221SF) could be viewed as a nonseparated occupancy and could potentially include an attached 28,000SF addition. The existing fire area separations would not have to be preserved.

Corridors are not required to be rated if the building is equipped with automatic fire sprinklers throughout. The stairs and ramps throughout the building are discussed under the heading of Accessibility.

Plumbing fixtures are calculated per Area Classification. In each area classification the occupant load is divided in half and fixtures are calculated for each sex. The numbers are always rounded up to the next whole number. These totals from each Area Classification are added together to get an overall building total. The overall totals are reflected below:

Per 2018 IBC Table 2902.1

Plumbing Fixtures	Required	Existing	Additional Needed
Water Closets	79	80	0
Lavatories	66	72	0
Showers	64	70	0
Drinking Fountains	14	2	12
Service Sinks	3	2	1

## Accessibility

Since the building was built prior to the Americans with Disabilities Act (ADA), many elements in the building are not ADA compliant. While an effort was certainly made at the time of design and construction to make the building accessible, the physical characteristics do not meet the ADA requirements. Therefore, an exhaustive ADA compliance study has not been performed on each element of the building.

The exterior approaches to the building have been adapted in some cases to be ADA compliant. However, there are non-ADA compliant approaches as well.

The areas that are not compliant includes access between the various levels within the building. There are interior stairs with no ramps between these levels. In general terms, the building floor elevations step up following the slope of the site outside as it slopes uphill. This presents accessibility challenges. There are internal ramps at the east courtyard and the west dormitory entrances to allow access to the different floor levels in the building. These ramps, while helpful, are not compliant with ADA standards. There are no elevators to provide wheelchair access between building levels or floors.



Ramp, Stair and Planter Design at Southwest Dormitory Entrance

## Restrooms

The restrooms were very clean and well maintained throughout the building. However, they are not ADA compliant. The restrooms are missing required grab rails, have incorrect mounting and fixture heights, too narrow of approach areas, do not have the proper reach over distance and are lacking areas for wheelchair turn around.

There are some restrooms in specific dormitories that are labeled as wheelchair accessible, but still require minor updates to make them fully ADA compliant.



Public Restroom at Lobby Area



Restroom in Dormitory

## Building Envelope

### Floors

Concrete Slab on Grade (SOG) floors throughout the main building are primarily covered by carpet, tile, LVT, epoxy coating, or resilient flooring. There is sport flooring with basketball and volleyball court markings in the gymnasium. The flooring has been cleaned and well maintained throughout the years. Some of the flooring materials are original to the building.

Floor slabs appear to be in good shape and do not exhibit any signs of differential movement, or cracking. The existing building seems to have been stabilized from the repair accomplished approximately 15 years ago. There were minor irregularities observed in some of the corridor and classroom floor surfaces.

### Walls

Exterior walls are face brick veneer on concrete masonry units or steel stud walls. For the most part they appear to be in good condition, especially since the exterior remediation recommendations from the 2001 Forensic Structural Investigation and Space Needs Study have been implemented. The caulking in the building joints around the perimeter of the building appear to have exceeded their useful lifespan and have become brittle and are cracking.



Building Joint Caulking Brittle and Cracking



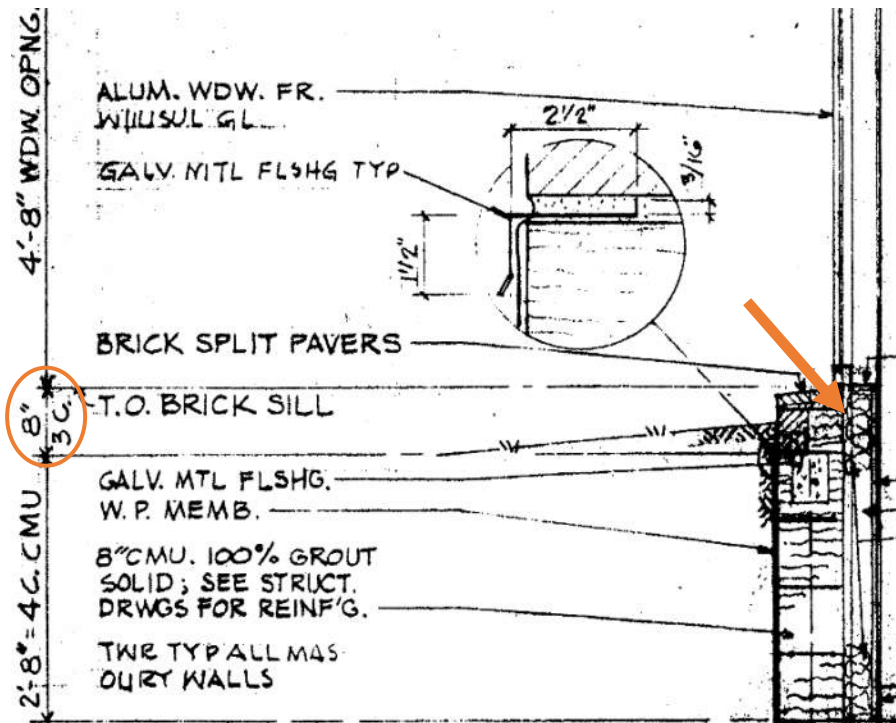
Remediated Building Joint Edges Pulling Loose

There are some areas of concern where a poor wall assembly design has the potential to create deterioration within the wall cavity. These areas have been identified and mapped out in the Structural assessment portion of this report. We recommend selective demolition of a size sufficient to investigate the condition of the wall cavity and the backside of the exterior wall.

## Windows and Soffits

Windows in the main building are aluminum windows that contain double-glazed insulated glazing units. Most windows are fixed but operable casement windows can be found at the dormitory area of the building. These windows appear to be in fair to good watertight condition. The window frames exhibit deterioration to the anodized finish and chalking likely from lawn sprinklers spraying water on their surface. The caulking around the windows is aged, sun-faded and brittle and appears to be past its useful lifespan.

The aluminum window frames are not detailed in the original record drawings as being thermally broken, meaning that there is nothing preventing thermal transfer from the exterior to the interior of the window frames. Sill panning/flashing was not observed at most of the windows. The sill of most windows is simply caulked. Metal flashing at a windows sill is a best practice for preventing water intrusion under the window. Where the soil is bermed up against the building within 12" or less of the windowsill, a condition is created wherein snow could easily drift up and sit on the windowsill. The "brick split paver" sill and the sacrificial brick course below it does not appear to be sealed. There is metal flashing below the sacrificial brick course that laps out onto the vertical face of the wall and has waterproof membrane underneath. This creates an 8" condition where water can pass unobstructed through the wall (see original drawing detail below). The interior gypsum wall board should be removed at strategic locations to allow inspection of this condition around the Exterior walls.



Area of Concern in Wall Cavity at Exterior Windowsill

Soffits around the building by the windows are typically exterior grade gypsum board with a plastered finish. The soffits appear to be in good condition for the age of the building.

## Doors and Hardware

There are a variety of exterior doors around the perimeter of the facility. Most exterior doors are aluminum storefront systems. Door operators are found at three main entrances. Magnetic hold opens linked to the fire alarm are found at corridor doors within 2-hour fire separation walls with an adjacent manual release button (pictured below). The interior doors are primarily solid core wood in hollow metal frames.

Most of the doors operate freely and smoothly. However, some doors, such as at the courtyard by the dining area, require additional force to get them to open. This likely indicates heave in the floor slab at the door sill.

Most of the hardware throughout the building is original to the building. It was discovered that the keying and lockset cores are also original to the building. The format of these cores is not common, and maintenance requires a specialized hardware technician. Some of the existing hardware is not ADA compliant. Additionally, most interior locksets are round knobs and not ADA compliant levers and would need to be replaced if a remodel took place.



Door in 2 HR Assembly w/ MHO Release



Double Aluminum Doors w/ Operator at East Courtyard Entrance

## Door Access Controls

There are only two doors in the facility that have card reader access to them – 1) Computer Testing Lab and 2) Arms Vault by the Indoor Firing Range. The head unit is in the Maintenance Superintendents office and is tied into the building's Tridium Building Automation System (BAS). This head unit is very old and uses obsolete technology. Access controls would need to be fully replaced and expanded to more openings if the building were remodeled.

## Building Security

In October 2007, a Vulnerability Assessment of WLEA was completed by the Wyoming Office of Homeland Security. The greatest threat identified could potentially come from within from a disgruntled student. This potential threat was recommended to be managed by internal procedures. Also identified in this prior assessment was the potential for vehicle ramming via the bermed earth ramps that lead directly to windows and doors. Adding additional bollards and/or boulders could potentially act as vehicle barriers at entry areas.

While there are security cameras around the building not all areas are visible including the remote support buildings (outlined below). Additional security cameras would be required to provide full surveillance.



Security Camera at Dormitories

## Roofs

The original built up roof (BUR) and gravel ballast was removed in 2009 and a new roof assembly was placed on this facility. The existing roof is “Rhinobond” mechanically attached TPO membrane system with a coverboard over polyiso and tapered insulation. The 20-year warranty start date is June 9, 2009 and it expires June 9, 2029.

There are some areas of the roof where the structure slopes and there is no tapered insulation at these locations. Most of the roof membrane is still under warranty and appear to be in good condition. No leaks were noted in the building or mentioned.



## Interiors and Finishes

Flooring consists of a mix of broadloom carpeting, quarry tile, LVT, and sport flooring. Resilient baseboard is generally found throughout the building. Interior walls are generally constructed of metal studs and fire rated gypsum board with various finishes including vinyl wall coverings and paint. There are some CMU walls found in various high use areas of the building. Ceilings are primarily acoustical lay-in ceiling tile in a suspended ceiling grid. There are various locations with gypsum board ceiling assemblies as well.

The finishes found within the building are in good condition but certainly dated in appearance.



## Support Facilities

Because of the heavy demands on the space in the main building, support facilities have been built at various times to supplement the programs and support the functions of the main building. In addition to the main building, there are six other buildings onsite described below:

### 1) Emergency Vehicle Operations Course (EVOC) Observation Tower –1,526SF; Built 1984

This facility is located north of the main building at the bottom of the hill on the north access road. It is a concrete block building with brick veneer. The man doors are hollow metal on hollow metal frames. The garage bay doors are sectional overhead steel doors. The windows are aluminum storefront assemblies with insulated glazing units. There is a septic system and drain field to the northwest of the building.

The building is used for observation of students on the EVOC driving range. There are two garage bays for vehicle maintenance and a single occupant restroom. There is no waiting area within the building for students 'waiting their turn' to drive. Some vehicles are stored in the building due to the lack of an EVOC vehicle storage building. Most of the student vehicles are parked outside of the building. Building settlement is visible in one corner of the building.

Adjacent to the building is the driving skills pad that extends out to the northeast to the south bank of the North Platte River. Adjacent to the Observation Tower is a makeshift 20YD firing range with the south hillside acting as a 172' tall backstop. Road 93 is .84 miles beyond this backstop. An informal 100YD – 250YD rifle firing range shoots across the skills driving pad when it is not occupied into a northwest hillside 10' tall backstop. Road 93 is 1.6 miles beyond this backstop.



EVOC Observation Tower and Garage Bays Beyond

# ARCHITECTURAL ASSESSMENT



View of Skills Driving Pad from the Observation Tower



Visible Cracking at Building Corner Outside the Building and Inside

### 2) Firing Range Observation Tower – 591 SF – Built in 1984

This facility is located north of the main building at the middle of the hill on the north access road on the way to the driving skills pad. The building is a concrete block building with brick veneer. The main doors are hollow metal on hollow metal frames. The windows are aluminum storefront assemblies with insulated glazing units. There is a septic system and drain field to the northeast of the building.



Observation Tower, Ready Room at Ground Level and Storage with Pistol Pit Behind (to the right in the photo)

This small building allows observation of the firing line of the outdoor firing range. There is a ready area at ground level where targets, cardboard, target glue, cleaning equipment and miscellaneous items are stored. There is a small single occupant restroom under the viewing tower floor.



Control Desk in the Firing Range Observation Tower

## ARCHITECTURAL ASSESSMENT

This outdoor 50-yard firing range provides firearms training to augment the indoor 25-yard firing range in the main building. The firing direction for the shooting lanes is north northeast with the first structures 1.01 miles beyond. The formal backstop is 27' tall at its highest point. Behind the observation tower is a pistol pit for steels target practice. The firing direction for the pistol pit is east southeast with Highway 59 438' beyond the backstop. The backstop is an informal 43' tall hillside backstop lined with vehicle tires at ground level.



Outside Firing Range Line Stations and Backstop – Looking Northeast

Staff mentioned the target system was at the end of its usable and serviceable life. The target system is very basic in turning target function and was installed at grade without continuous protection (what was provided utilizes rubber blocks). Still there is potential for ricochets. The low concrete wall at the foot of the dirt berm (to maintain the dirt berm slope) is covered with rubber to mitigate ricochets, and likely needs some replacement. The earth berm will accumulate lead and needs periodic testing by an industrial hygienist and mining to determine toxicity. If there is no liner under the berm, there is a potential for the lead to leach into the soil over the many years of shooting, and potentially into ground water. The river is also in close proximity.

The biggest safety issue with all the identified outdoor ranges is they are 'blue sky' ranges, meaning they are completely open. There is the possibility that errant rounds could pass far beyond the backstop or side berms.

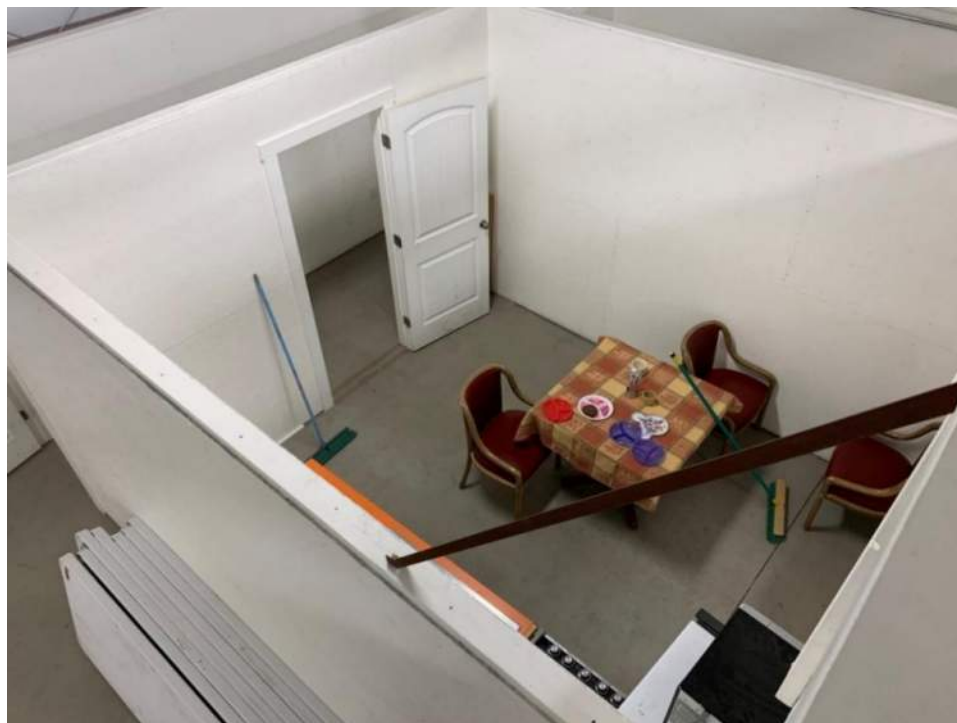
### 3) Scenario Training Building – 4,800 SF – Built in 2016

The Scenario Training Building is located a short walk across the main parking lot to the west of the main building. It is a relatively new insulated pre-engineered metal building clad in metal wall panels that clear spans the width of the building, providing maximum open space. The floor within the building is concrete slab on grade. The building has a forced air HVAC system and high bay general lighting.

It was designed to provide flexible scenario rooms for simulation training. The purpose of this building is to allow flexible configuration of a multitude of scenarios for students to learn by physical and tactile demonstration.

The building is comprised of three main sections: 1) the east scenario rooms, 2) the central open area, and 3) the west scenario rooms. Two observation catwalks run the length of the building and allow students to observe simulations from above in any of the three sections of the building. The central open area has overhead doors at either end which allows vehicles to be pulled in for interactive vehicle scenarios. Temporary modular walls are stacked in this space to create various configurations for the scenario-based training exercises.

This building is highly utilized and very useful for physical demonstration teaching modalities. In addition to the scenarios described above, door breaching and strategic approach to active crime scenes are demonstrated. “Simunition” (non-lethal training ammunition) is also used in scenario exercises this building, allowing a real-world immersive experience for the students.



Scenario Room as Seen From Observation Catwalk Above – Configured as a Residential Kitchen and Dining Room

## ARCHITECTURAL ASSESSMENT



Central Open Area in The Scenario Training Building – Vehicles Can Be Brought into This Area to Create Various Scenarios



East Scenario Rooms as Seen from the Observation Catwalk

### 4) Maintenance Building – 2,520 SF – Built in 2011

The Maintenance Building sits at an elevation of approximately 15' above the parking lot below and is accessed by a dirt and gravel road from the northwest corner of the parking lot. It is an insulated pre-engineered metal building clad in metal wall panels. There is a retaining wall uphill and to the north of the building. It is used for grounds and maintenance equipment storage and contains all the firing range ammunition. Shipments of ammunition and some facilities maintenance materials are delivered to this building. It is currently completely full.



Maintenance Building as Viewed from Northwest Corner of the Main Building



Maintenance Building as Viewed from the Roof of the Main Building

### 5,6,7) Storage Shed – (3) At 80 SF each = 240 SF total

The three Storage Sheds are pre-manufactured residential storage sheds that can typically be found at big box home improvement stores. One Storage Shed is located to the east of the Firing Range Observation Tower and contains cardboard targets. Two Storage Sheds are located immediately adjacent to the main building to the northwest of the mechanical room and contain building maintenance materials and recycling items such as aluminum cans. The T-lock shingles, which are no longer manufactured along with the overall deteriorated condition, indicate that they are older and have been around for quite a while.



Storage Shed Adjacent to Firing Range Observation Tower

[ 5.0 CIVIL SITE  
ASSESSMENT: ]

## Site Assessment Overview

The Wyoming Law Enforcement Academy (WLEA) is annexed within the City of Douglas, Wyoming. Access to the campus is provided from Wyoming Highway 59 by a private roadway described as North River Bend Road. Asphalt pavement extends to multiple parking areas on the east, south, and west sides of the building. The pavement also extends to the garage and boiler room near the northwest corner of the building. The asphalt appears to have been chip sealed and is overall in good condition. A gravel drive is provided around the north side of the WLEA building to provide vehicular connectivity to the paved areas on the east and west sides. The site is located on the southerly face of a hillside which has been excavated to develop the overall campus. The north and east sides of the site utilize the elevated native grades for providing wind protection and visual screening for the building. The west side of the site is relatively flat and blends into the prairie landscape. The south side has a large embankment which slopes down to a natural drainage channel that runs west to east. The embankment for North River Bend Road creates a storm water detention area for this drainage channel with a culvert which transects North River Bend Road to convey storm water to the east.



Gravel Drive around North Side of WLEA



Pavement Near Main Entrance



Embankment for North River Bend Road



Drainage Channel to South of WLEA

## Parking

There are three (3) primary parking areas for the WLEA. Visitor parking is provided near the main entrance on the south side of the WLEA building. A staff parking area is on the east side of the building and the primary student parking area is located on the west side of the building. There are approximately 150 standard parking stalls, 3 ADA parking stalls, and 1 ADA accessible isle. These parking stalls are approximately 9 feet wide by 16 feet long with two-way drive aisles which are approximately 24 feet wide.

The City of Douglas parking standards require parking stalls which are 10 feet wide by 20 feet long with a minimum drive aisle of 24 feet for two-way traffic. These standards also require minimum of “1 space per 2 student design occupancy, plus 1 space per 150 square feet of office space” for an “educational institution, high schools, vocational/trade schools, colleges”. The resulting parking requirements are 79 stalls for the existing 3,409 square feet of office space and an enrollment of 112 students. ADA standards require one (1) ADA compliant parking space for every 25 standard parking spaces. Improvements to the existing facility will likely require expansion to the existing parking areas to meet these minimum parking requirements.



Student Parking Area to West of Building



Staff Parking Area to East of Building



Visitor Parking Area South of Building

**Building Access**

There are multiple pedestrian access routes from each of the parking areas. The concrete sidewalks are overall in good condition. Minor cracking and settlement issues were observed at various locations. It is obvious that efforts have been made to provide easily accessible site features from the parking areas to the building. However, an exhaustive ADA site features compliance study has not been performed on each approach to the building. Once a project path forward has been identified (the MCER), relevant site features compliance will be further explored.



West Entrance from Visitor Parking Area



Southwest Entrance from Student Parking Area

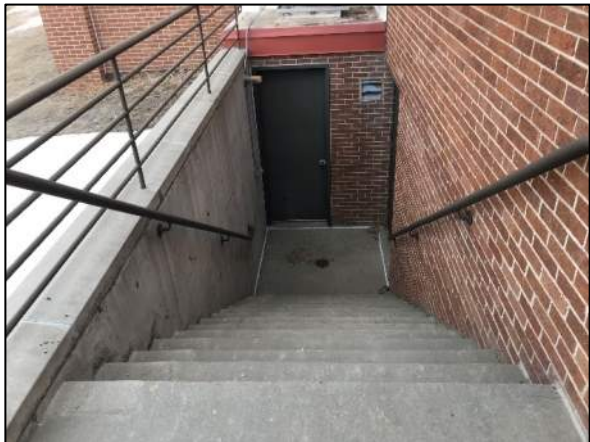


Northwest Entrance from Student Parking Area



West Entrance Near Garages

CIVIL ASSESSMENT



Gymnasium Entrance On North Side of WLEA



North Access from Staff Parking



South Access from Staff Parking

## Utilities

Record documents convey the following information on the utilities which serve the WLEA.

The existing building is served by natural gas. This service which extends from Wyoming Highway 59 and runs parallel along the southern property boundary before turning north and connecting to the meter near the northwest corner of the WLEA.



Gas Meter at Northwest Corner Near Mechanical Equipment

The WLEA campus is supplied by a 10-inch water main that is connected to the public water system maintained by the City of Douglas. A booster pump is required for this main. The structure and infrastructure for this pump is located near the approach for North River Bend Road onto Wyoming Highway 59. The 10-inch main splits into an 8-inch pipe which loops around the building. There are three (3) fire hydrants and a 4-inch service which are connected to this 8-inch loop. An additional 6-inch pipe is connected to this main and extends to the buildings located at the Outdoor Shooting Range and Emergency Vehicle Operations Course (EVOC).

Fire flow tests performed by the City of Douglas in 2010 were:

#	LOCATION	STATIC (psi)	RESIDUAL (psi)	FLOW (gpm)
C-1	MAIN ENTRANCE	121	111	1650
C-2	WEST OF WLEA	120	110	1538
C-3	EAST SIDE OF WLEA	122	115	1650

## Drainage

An 8-inch sanitary sewer main is connected to the public sanitary sewer network operated and maintained by the City of Douglas. Record plans show there are four (4) manholes located on the property. Only two (2) of these sanitary sewer manholes were discovered during the site assessment. These were near the building and at the angle point where the sanitary sewer crosses North River Bend Road. The second manhole is a drop manhole with a total depth of approximately 20 feet.



Drop Manhole Near Road Crossing

The WLEA Building has several drain inlets which are piped to discharge at multiple daylight locations. There are two (2) inlets in the courtyards located on the east side of the WLEA. These are piped to the east side of the staff parking area where they daylight into a drainage swale. This swale conveys storm water to the south and then easterly towards the road to the Outdoor Shooting Range and EVOC. On the south side of the building there are three (3) outlets located on the embankment adjacent to the visitor parking area and driveway to the student parking lot. These outlets are believed to be connected to storm drainpipes from the WLEA building. Water discharged from these pipes go down concrete lined spillways and into a drainage channel that conveys storm water to the east. There are two (2) additional curb cuts along this section of the access road to allow storm water to enter this drainage channel. Concrete lined spillways provide erosion control measures from the curbs down to the drainage channel. A culvert crosses North River Bend Road to convey storm water from this channel to the east. In 2003 drain inlets were constructed at southwest and southeast corners of the

## CIVIL ASSESSMENT

landscaped areas for the building. These inlets are piped below the access roads and daylight to rock armored embankments. No areas with major erosion were observed during the site visit.



Drain Inlet in Courtyard South of Gymnasium



Drainage Swale East of Staff Parking



Drain Outlets South Side of WLEA



Drain Outlet and Curb Cut South of Visitor Parking



Drain Outlet & Curb Cut Near Southwest Corner of WLEA



Drain Inlet Near Southwest Corner of WLEA

## CIVIL ASSESSMENT

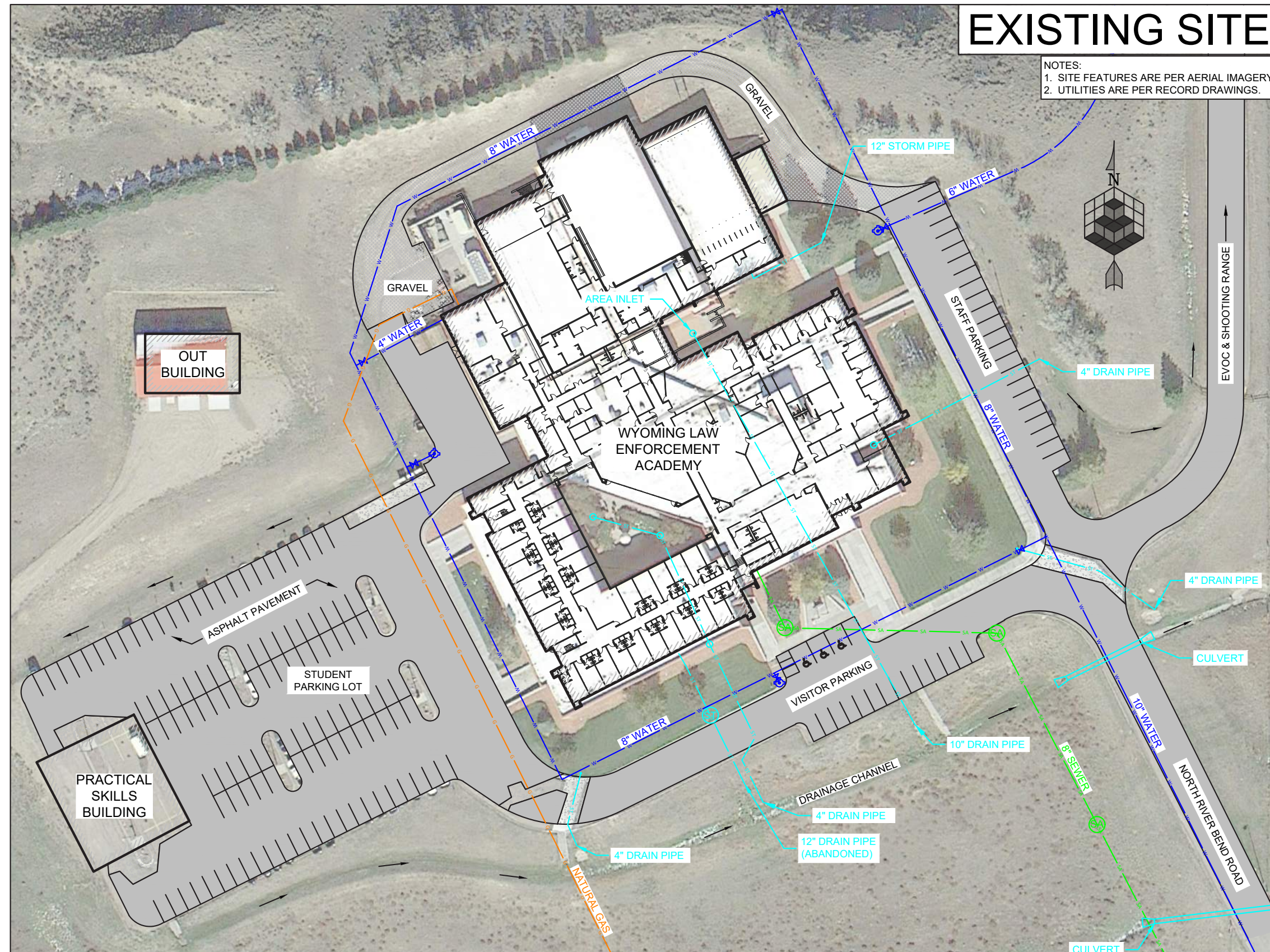


Drainage Channel South of Visitor Parking



Drainage Channel South of Student Parking

See Existing Site for map of existing site features.



## Civil Diagram Narratives

The following narrative describes the diagrams that follow.

### Main Campus Areas

**Drainage Basin** – Directly south of the main building there is a large basin which has been created by the North River Bend Road from Highway 59. The bottom of this basin is approximately 30 feet lower than the visitor parking area located near the Academy’s main entrance. The topography for the surrounding areas direct storm water to a natural channel that drains to this manmade basin used for storm water detention during large rain or snow melt events. The storm water detention is required to control flows leaving the site. The alignment for the sanitary sewer main serving the campus transects the eastern side of the basin before turning easterly and crossing the North River Bend Road. To develop this area will require significant earthwork, modifications to the sanitary sewer main, and construction of additional storm water detention areas.

**Native Landscape.** On the west, north, and east side of the main campus is native landscaping with diverse topography. To the west is a gradual prairie hillside, but development is limited by the property boundary located approximately 200 feet from the existing Practical Skills Building. A rugged ridge line is located north of the building and currently provides wind protection for the Academy. The crest of the ridge is approximately 80 feet from the Academy. The topography on the north side of the ridge is steep and very broken. This ridge line extends around the east side of the campus and becomes less rugged in the areas east of the staff parking area. Development in this area is limited by the proximity of the access road to the Shooting Range and EVOC.

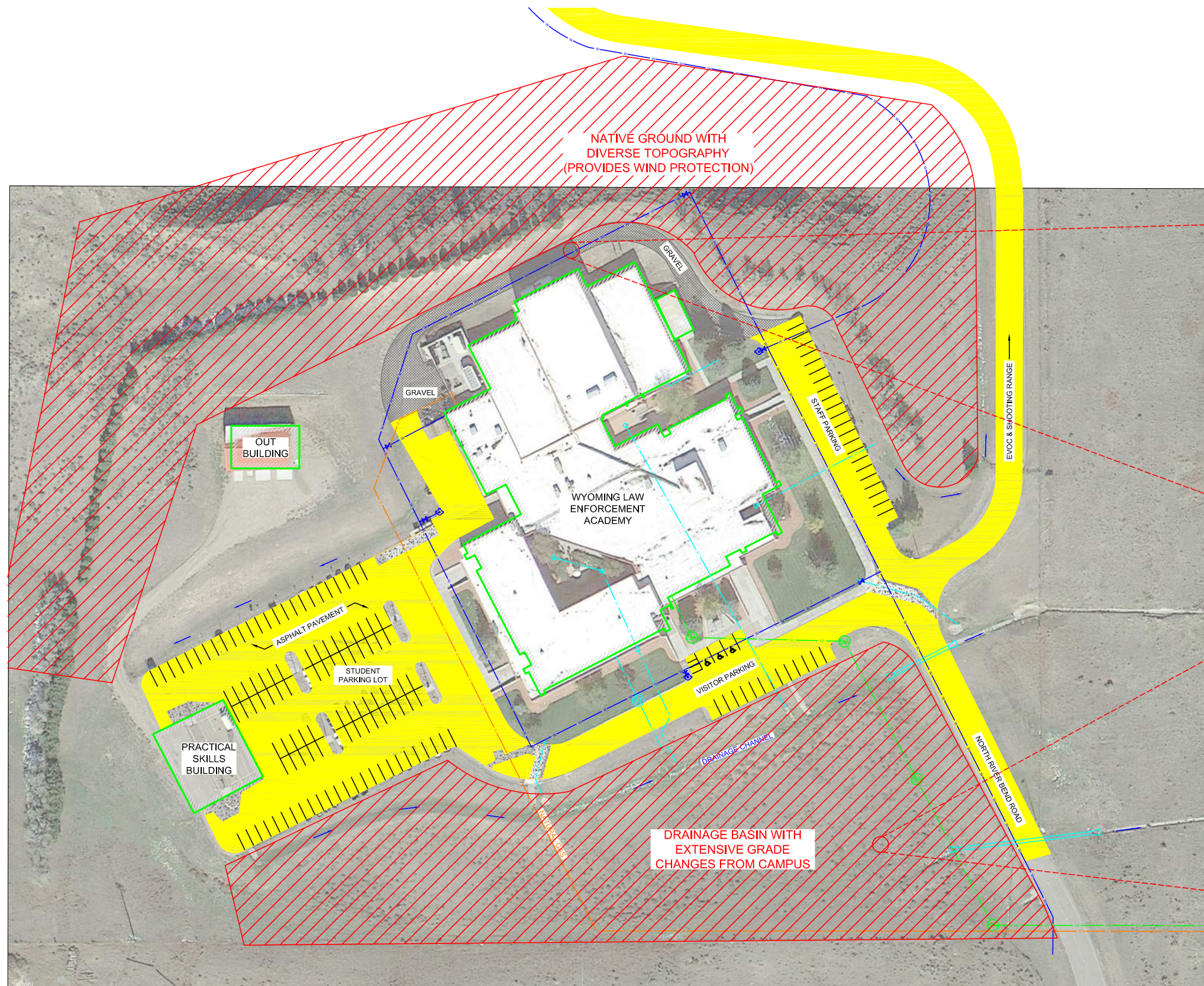
### Highway 59 Access Options

**Street View 1** – An approach and access road for this area are limited by steep terrain and proximity to the access road for the Shooting Range and EVOC.

**Street View 2** – An approach and access road for this area are limited by steep terrain and proximity to the access road for the Shooting Range and EVOC.

**Street View 3** – An approach and access road for this area are limited by steep terrain, a natural drainage channel, and proximity to the Shooting Range.

**Street View 4** – An approach and access road for this area are limited by the steep terrain, the North Platte River, and proximity to the Highway 59 bridge.





6.0 STRUCTURAL ASSESSMENT: ]

## Structural Assessment Overview

The structural assessment of the Wyoming Law Enforcement Academy (WLEA) building is based on a visual assessment on January 21, 2020 by Greg Shavlik and Margaret Morneau, both with KL&A, and the review of the structural drawings, stamped by A.C. Volk, Jr. of W. H. Harrison, Jr. and dated October 14, 1982. The structural drawings were provided by the WLEA during the assessment. The visual observation was based on assessable areas and structure that could be observed without the removal of existing finishes.

The existing drawings are broken up into three (3) Areas: Area A (Dormitory Wing), Area B (Cafeteria, Office, and Classrooms) and Area C (Mechanical, Pool, Gymnasium, and Indoor Range). This report will identify the structural systems, existing condition, and any deficiencies observed in each of these areas.

## Structural Systems and Current Conditions

### Area A (Dormitory Wing)

Area A is two levels with the lower level being approximately 3'-4" lower than Area B. The exterior walls are retaining soil to the sill of the windows. The structural system for the roof is steel deck supported by steel bar joists spanning to steel beams that are supported by steel columns. The upper level floor is a concrete slab on steel deck supported on steel bar joists that are supported by steel beams and steel columns. The lower level floor is a concrete slab on grade. The lateral system is cold formed steel stud walls with cold formed strap x-bracing. Typical perimeter foundations are grouted 8" CMU walls that extend up to the retained soil elevation and bear on concrete spread footings. Where the lateral x-braced cold formed steel walls are located at the exterior wall, the brick veneer bears on 4" unreinforced masonry that is located below grade with the cold formed stud wall to the interior. The 4" CMU appear to be the foundation element supporting the retained soil. Columns bear on concrete pad footings.

In general, the structure appears to be performing as designed. Diagonal cracking was observed in the exterior brick veneer at the north wall and at the upper level spandrel on the west wall. The cracking appears to be an indication of differential vertical movement along the length of the wall. The cracks had been patched and the repairs appear to be performing as intended. No additional repairs appear to be required.



Photo 1 - Area A in Courtyard

# STRUCTURAL ASSESSMENT



Area A - Repaired Cracks at West Upper Level Spandrel



Area A – Repaired Cracks at North Wall



Area A – Framing at Corridor Ceiling Plenum

## Area B (Cafeteria, Office, and Classrooms)

Area B is a single level structure. The southern and eastern exterior walls retain soil to the sill of the windows. There is a mechanical mezzanine above the restrooms by the Administration Offices. The structural system for the roof is steel deck supported by steel bar joists spanning to steel beams that are supported by steel columns. The mechanical mezzanine is a concrete slab on conform deck supported on steel bar joists that is supported by steel beams and steel columns. The floor is a concrete slab on grade. The lateral system is cold formed steel stud walls with cold formed strap x-bracing. Typical perimeter foundations are grouted 8" CMU walls that extend up to the retained soil elevation and bear on concrete spread footings. Where the lateral x-braced cold formed steel walls are located at the exterior wall, the brick veneer bears on 4" unreinforced masonry that is located below grade with the cold formed stud wall to the interior. The 4" CMU appear to be the foundation element supporting the retained soil. Columns bear on concrete pad footings. The tiered seating and elevated floor in the classrooms and support area are concrete slab on conform deck bearing on cold formed steel bearing walls.

The structure observed appears to be performing as designed.



Area B - Southwest Corner

# STRUCTURAL ASSESSMENT



*Area B - East Entry*

## **Area C (Mechanical, Pool, Gymnasium, and Firing Range)**

Area C is a single level that includes the Gymnasium, Original Pool, Indoor Firing Range and Mechanical Rooms. The Mechanical Rooms are approximately 4'-0" lower than the remainder of Area C and at the same elevation as Area B. This difference in elevation is addressed with interior stairs and ramp at the corridor, an exterior stair to the south of the Firing Range, and an exterior stair to the north of the Pool. The exterior grade around Area C is located above finished floor requiring the exterior walls to retain soil. The original pool, 25'-0" x 60'-0", was infilled and replaced with a concrete slab-on-grade floor. There is a mechanical mezzanine to the south of the gymnasium. The structural system for the roof is steel deck supported by steel bar joists spanning to steel beams that are supported by steel columns. The mechanical mezzanine is a concrete slab on conform deck supported on steel bar joists that is supported by steel beams and steel columns. The floor is a concrete slab on grade. The Gymnasium and Pool walls are reinforced CMU walls with steel post and beam framing located inside the walls. The CMU walls appear to be the lateral system. The perimeter foundations are a combination of 10" concrete retaining walls and 8" CMU walls bearing on concrete spread footings. Columns bear on concrete pad footings.

In general, the structure appears to be performing as designed. Cracking was observed in the exterior brick veneer at the northwest corner of the Gymnasium, at the door jambs in the Maintenance Bays, the exterior CMU wall south of the Firing Range, and the north wall of the Mechanical Room. The cracking appears to be an indication of differential vertical movement along the length of the wall. Most cracks had been repairs and appear to be performing as intended. Unrepaired cracks need to be repaired in a similar manner to previous crack repairs.

# STRUCTURAL ASSESSMENT



Area C - Repaired Cracks at Northwest Corner of Gym



Area C - Repaired & Unrepaired Cracks at Maintenance Door



Area C - Cracking in Exterior CMU Wall South of Range

### Response to Items Addressed in Previous Assessment

KL&A reviewed the *Forensic Structural Investigation and Space Needs Study...* by Gorder South Group (GSG), Wiss, Janey, Elstner Associates (WJE), and CTL/Thompson, dated September 28, 2001. This report was focused on the cause and extent of damage to the WLEA facility up to the time of the assessment and the review of soil conditions under the structure. It also discusses additional condition reports that were created in 1985, 1989, and 1999 which were prepared by other consultants. The report states that “a significant percentage of the observed damage has been attributed to soil movement.” Cracking was observed throughout the facility with the more significant cracks occurring the Gymnasium and Pool areas and least in the southeast corner. Findings from the soil assessment were that the soils at the north section of the building are expansive soils and the south section is on filled material. Recommendations and possible remediation efforts from this report include a monitoring program, underpinning of foundations at expansive soils, replace damaged slab-on-grade floors, remove or replace the pool, stabilization of non-expansive fill material, repair and addition of control joints in the brick veneer, repair of brick veneer cracks, reconstruction of brick veneer that was not improperly built/installed, installation of subsurface drains, and implementing zeroscaping adjacent to foundations.

The Wyoming Law Enforcement Academy stated that the cracks were monitored over time and that a decision was made to remove the pool before making other foundation repairs. It was their opinion that upon infilling the pool the observed new damage to the building ceased. This could be an indication there may have been possible leak in the pool that led to the swelling of

## STRUCTURAL ASSESSMENT

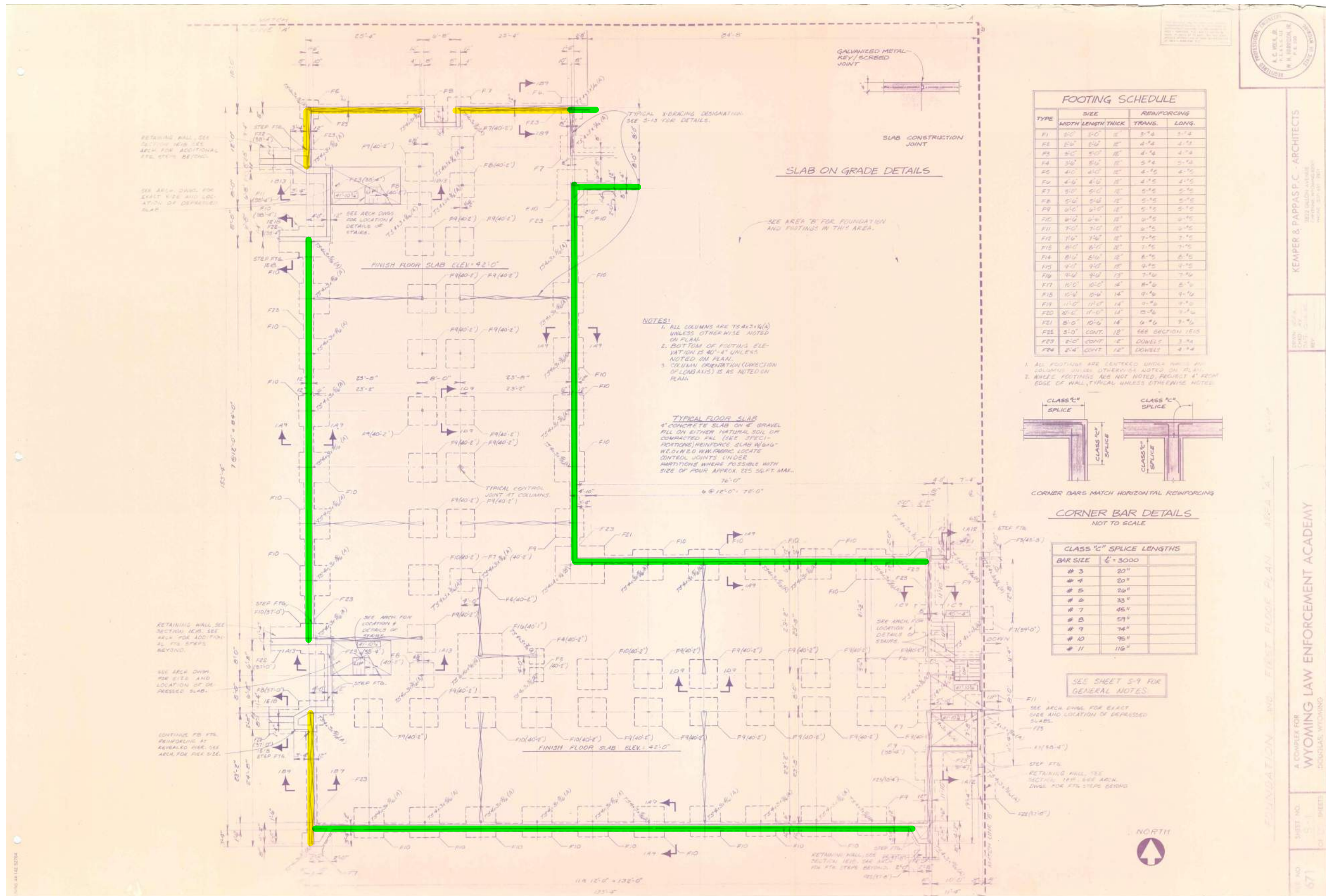
the expansive soils beneath the foundation. Other information about what remediations were performed were not shared with KL&A.



Crack Gage at CMU Control Joint at South Wall of Fire Range

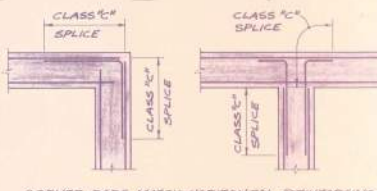
### Summary

In general, the structure appears to be performing as designed after repairs and remediations were made and the pool was removed. It appears appropriate maintenance measures have been taken throughout the life of the facility. From what was observed by KL&A, there are no structural concerns with the building beyond the repair of the observed cracks in the CMU walls and masonry veneer. The one area of concern are the locations where the 4" CMU is retaining soil. This wall assembly can have issues if adequate waterproofing is not applied to the exterior face of the wall and maintained. Similar details in other projects have had structural degradation of the steel studs and mold growth within the cold formed wall cavity. It is recommended to remove a small area of wall finish in each area where the 4" CMU walls are retaining soil to assess conditions in the cavity and assure that there is no structural damage. We recommend the continuation of the current maintenance program.



**FOOTING SCHEDULE**

TYPE	SIZE			REINFORCING	
	WIDTH	LENGTH	THICK	TRANS.	LONG.
F1	2'-0"	2'-0"	18"	3-#8	2-#4
F2	2'-0"	2'-0"	18"	4-#4	2-#4
F3	2'-0"	2'-0"	18"	4-#4	2-#4
F4	2'-0"	2'-0"	18"	5-#4	2-#4
F5	4'-0"	4'-0"	18"	4-#5	4-#5
F6	4'-0"	4'-0"	18"	4-#5	4-#5
F7	5'-0"	5'-0"	18"	5-#5	5-#5
F8	5'-0"	5'-0"	18"	5-#5	5-#5
F9	6'-0"	6'-0"	18"	5-#5	5-#5
F10	6'-0"	6'-0"	18"	5-#5	5-#5
F11	7'-0"	7'-0"	18"	6-#5	6-#5
F12	7'-0"	7'-0"	18"	7-#5	7-#5
F13	8'-0"	8'-0"	18"	7-#5	7-#5
F14	8'-0"	8'-0"	18"	8-#5	8-#5
F15	9'-0"	9'-0"	18"	9-#5	9-#5
F16	9'-0"	9'-0"	18"	9-#5	9-#5
F17	10'-0"	10'-0"	18"	9-#5	9-#5
F18	10'-0"	10'-0"	18"	9-#5	9-#5
F19	11'-0"	11'-0"	18"	9-#5	9-#5
F20	10'-0"	11'-0"	18"	9-#5	9-#5
F21	5'-0"	10'-0"	18"	4-#6	7-#5
F22	3'-0"	CONT.	12"	SEE SECTION 1E15	
F23	2'-0"	CONT.	12"	CONCRETE	3-#4
F24	2'-0"	CONT.	12"	CONCRETE	4-#4



**CLASS 'C' SPLICE LENGTHS**

BAR SIZE	ℓ = 3000
# 3	20"
# 4	20"
# 5	20"
# 6	33"
# 7	45"
# 8	57"
# 9	74"
# 10	95"
# 11	110"

SEE SHEET S-9 FOR GENERAL NOTES



KEMPER & PAPPAS P.C. - ARCHITECTS

FOUNDATION AND FIRST FLOOR PLAN AREA

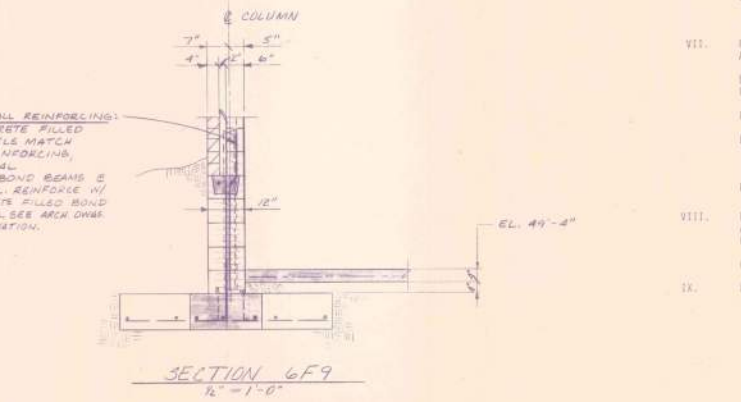
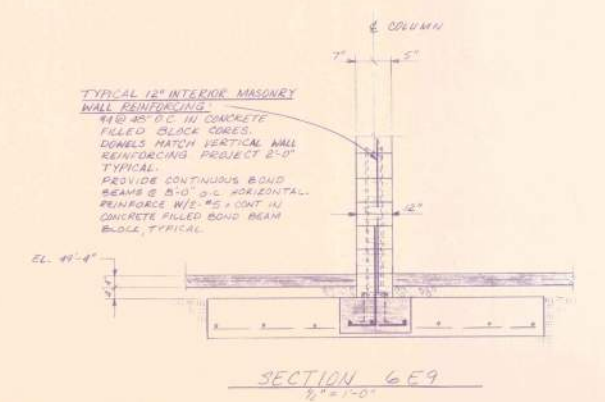
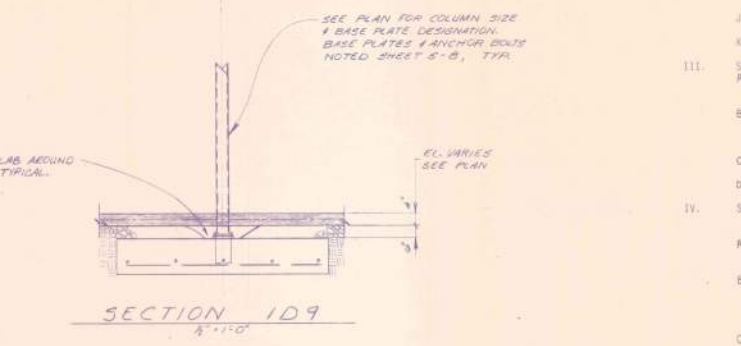
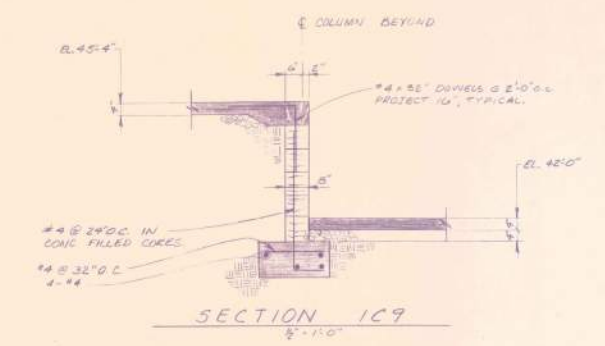
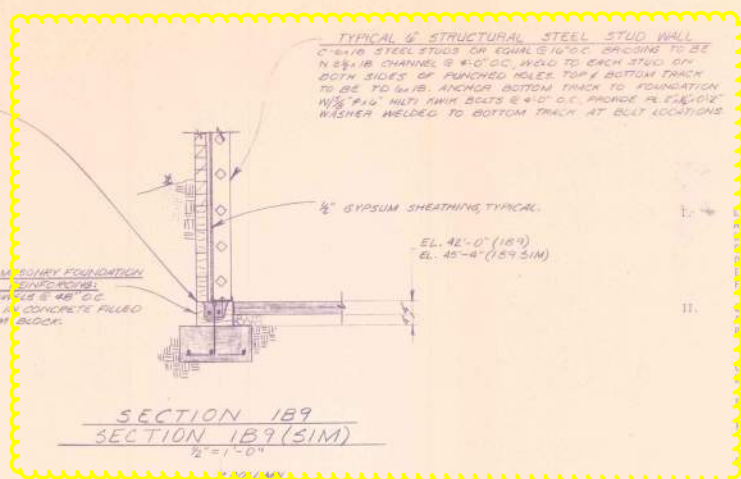
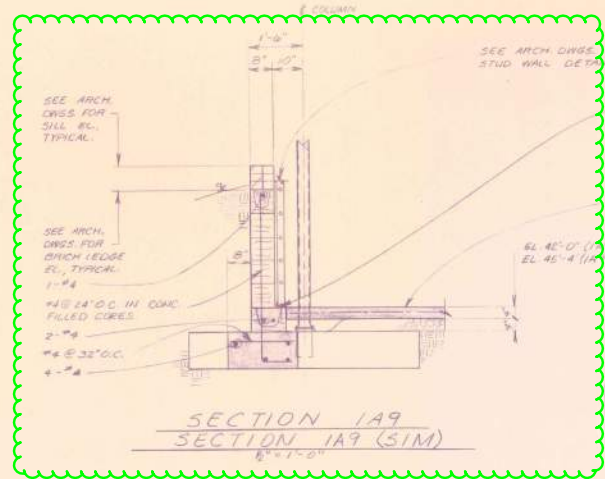
WYOMING LAW ENFORCEMENT ACADEMY



WLEA STRUCTURAL FOUNDATION DIAGRAM  
 Facility Assessment Report  
 WYOMING LAW ENFORCEMENT ACADEMY







- GENERAL NOTES
- LOADS USED IN DESIGN:
- ROOF ..... 30 PSF
  - FLOOR ..... 40/20 PSF
  - STAIRS ..... 100 PSF
  - MECHANICAL EQUIPMENT ROOMS ..... 125 PSF
  - WIND ..... 30 PSF BASIC
  - SEISMIC ..... ZONE 1
- CONCRETE
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. ALL REINFORCING STEEL SHALL BE DEFORMED BARS OF NEW RIBBET STEEL CONFORMING TO A.S.T.M. SPECIFICATION A-615, GRADE 60 (BARS MAY BE GRADE 40). DO NOT WELD OR REBEND ANY BARS WITH A YIELD POINT GREATER THAN 80,000 PSI.
- SLABS ON GRADE SHALL BE REINFORCED AS NOTED ON THE PLAN. LAP MESH @ 4" AT SPLICES. CONTROL AND CONSTRUCTION JOINTS SHALL BE LOCATED AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ARCHITECT.
- AT ALL CORNERS AND WALL INTERSECTIONS PROVIDE CORNER BARS HAVING A CLASS "C" SPLICE WITH ADJACENT WALL BARS.
- ALL BAR LENGTHS ARE DRAWN TO SCALE UNLESS NOTED. NO SPLICES OF REINFORCEMENT SHALL BE MADE EXCEPT AS DETAILED OR AUTHORIZED BY STRUCTURAL ENGINEER. ALL LAP SPLICES TO BE CLASS "C" UNLESS OTHERWISE NOTED.
- DETAIL ALL REINFORCING AND PROVIDE BAR SUPPORTS IN ACCORDANCE WITH A.C.I., DETAILING MANUAL, LATEST EDITION.
- PROVIDE LATERAL SUPPORT FOR WALLS WHILE EARTH BACKFILL IS BEING PLACED AND COMPACTED.
- REINFORCEMENT PROTECTION:
1. CONCRETE POURED AGAINST EARTH ..... 3"
  2. CONCRETE POURED IN FORMS BUT EXPOSED TO WEATHER OR EARTH ..... 2"
  3. WALLS ..... 1"
- J. UNLESS OTHERWISE SHOWN, PLACE 2-#5 (1 EACH FACE) WITH 2'-0" PROJECTIONS AROUND ALL OPENINGS IN CONCRETE WALLS.
- K. SEE ARCHITECTURAL DRAWINGS FOR CHAMFERS, KERFS, ETC.
- STRUCTURAL STEEL
- A. ALL STRUCTURAL STEEL SHALL BE A.S.T.M. A36, TUBE COLUMN A.S.T.M. A500 GRADE B, AND SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH A.I.S.C. SPECIFICATIONS AND CODE OF STANDARD PRACTICE.
- B. FOR BEAM CONNECTIONS, USE STANDARD FRAMED BEAM CONNECTIONS WITH 3/4" x A-325N BOLTS (OR WELDED EQUIVALENT) AS SHOWN IN TABLE II, PART 4 A.I.S.C. MANUAL, LATEST EDITION, UNLESS OTHERWISE NOTED. SELECT CONNECTIONS TO SUPPORT 60% OF THE TOTAL UNIFORM LOAD CAPACITY IN BENDING FOR EACH BEAM AND SPAN AS SHOWN IN UNIFORM LOAD CONTACT TABLES.
- C. ALL WELDERS SHALL HAVE EVIDENCE OF HAVING PASSED THE A.W.S. STANDARD QUALIFICATION TESTS FOR THE TYPE OF WELDING PERFORMED.
- D. SEE ARCHITECTURAL DRAWINGS FOR NAILERS, BOLTS ETC.
- STEEL STUDS
- A. ALL STEEL STUDS 18 AND 20 GAUGE, AND ALL PAINTED TRACK, BRIDGING, END CLOSURES AND ACCESSORIES SHALL BE FORMED FROM STEEL THAT CORRESPONDS TO THE REQUIREMENTS OF A.S.T.M. A611, GRADE C, WITH A MINIMUM YIELD OF 33,000 PSI.
- B. TRACKS SHALL BE SECURELY ANCHORED TO THE SUPPORTING STRUCTURE AS SHOWN ON THE PLANS. AT TRACK BUTT JOINTS, ABUTTING PIECES OF TRACK SHALL BE SECURELY ANCHORED TO A COMMON STRUCTURAL ELEMENT, OR THEY SHALL BE BUTT WELDED OR SPLICED TOGETHER. TEMPORARY BRACING SHALL BE PROVIDED UNTIL ERECTION IS COMPLETED. HANDLING AND LIFTING OF PREFABRICATED FRAM PANELS SHALL BE DONE IN A MANNER AS TO NOT CAUSE DISTORTION IN ANY MEMBER.
- C. SPLICES IN AXIALLY LOADED STUDS SHALL NOT BE PERMITTED UNLESS APPROVED BY STRUCTURAL ENGINEER.
- STEEL JOISTS
- A. STEEL JOIST SHALL CONFORM TO THE REQUIREMENTS OF STANDARD SPECIFICATIONS OF THE STEEL JOIST INSTITUTE, LATEST EDITION.
- B. JOISTS SHALL BEAR 4" MINIMUM ON BLOCK AND 2" ON STEEL BEAMS OR PLATES. WELD JOISTS TO ANGLES, BEAMS AND PLATES IN MASONRY.
- C. PROVIDE BRIDGING AS NOTED ON THE PLANS.
- D. SKEWED END PLATES, SLOPED BEARING BOLSTERS, STEEL JOIST BEARINGS ARE TO BE PROVIDED BY STEEL JOIST MANUFACTURER.
- STEEL DECK
- A. ALL STEEL DECK SHALL BE ERECTED IN ACCORDANCE WITH DECK MANUFACTURER'S SUGGESTED SPECIFICATION OR AS NOTED ON THE PLANS.
- B. STEEL DECK BY OTHER MANUFACTURERS MAY BE SUPPLIED IN LIEU OF THAT SHOWN PROVIDED SECTION PROPERTIES ARE SIMILAR TO THOSE SPECIFIED, AND IF APPROVED BY THE ARCHITECT.
- C. DECK SUPPLIER SHALL PROVIDE ALL ADDITIONAL FRAMING AS REQUIRED FOR OPENINGS THROUGH DECK.
- D. PUDDLE WELDS BETWEEN ROOF DECK AND JOISTS SHALL BE 1/2" MINIMUM. WELDING RODS SHALL BE SUBMITTED IN WRITING TO THE STRUCTURAL ENGINEER FOR APPROVAL IN WRITING AT LEAST ONE WEEK PRIOR TO THE BEGINNING OF DECK WELDING.
- REINFORCED MASONRY
- A. ALL MORTAR SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 1500 PSI AND A MAXIMUM OF 2000 PSI.
- B. ALL REINFORCING BARS SHALL CONFORM TO A.S.T.M. A615-GRADE 60.
- C. ALL HORIZONTAL AND VERTICAL MASONRY REINFORCING IS TO BE SOLIDLY GROUTED IN PLACE USING EITHER HIGH OR LOW LIFT GROUTING TECHNIQUES.
- D. FILL ALL VOIDS AND BLOCK CELLS SOLIDLY WITH GROUT FOR A DISTANCE OF 24" BENEATH AND 12" EACH SIDE OF ALL BEAM REACTIONS OR OTHER CONCENTRATED LOADS, UNLESS OTHERWISE NOTED.
- E. ALL CONCRETE FOR BOND BEAMS AND VERTICAL BLOCK WALL CORES SHALL BE STRUCTURAL QUALITY WITH 3/8" MAX COARSE AGGREGATE AND 3000 PSI AT 28 DAY COMPRESSIVE STRENGTH. (TEST CYLINDERS ARE REQUIRED) CONCRETE MAY BE JOB MIXED AND PLACED BY THE MASONRY CONTRACTOR BUT IS THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- F. ALL SPLICES SHALL BE LAPPED 48 BAR DIAMETERS UNLESS OTHERWISE NOTED, AND SHALL BE LOCATED AS SHOWN ON THE DRAWINGS OR APPROVED BY THE STRUCTURAL ENGINEER.
- FOUNDATIONS
- A. ALLOWABLE SOIL PRESSURE USED IN DESIGN: 1000 PSF (TOTAL LOAD PRESSURE).
- B. FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL SOIL OR STRUCTURAL FILL AT THE ELEVATIONS SHOWN.
- C. THE OWNER OR HIS REPRESENTATIVE SHALL APPROVE BOTTOM ELEVATIONS OF FOOTINGS.
- EXPLANATION OF SECTION DESIGNATION
- SECTION
- FIRST STRUCTURAL SHEET WHERE SECTION IS TAKEN
- STRUCTURAL SHEET WHERE SECTION IS DRAWN



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DOWNEY, WYOMING 82015  
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DATE: 02.14.18  
REV: 01

A COMPLEX FOR  
WYOMING LAW ENFORCEMENT ACADEMY  
DOUGLAS, WYOMING

FILE NO. 671  
SHEET NO. 5-9  
OF 21 SHEETS



# WLEA STRUCTURAL FOUNDATION DIAGRAM

## Facility Assessment Report

### WYOMING LAW ENFORCEMENT ACADEMY



7.0 MECHANICAL, ELECTRICAL, AND PLUMBING  
ASSESSMENT:

## Mechanical Electrical and Plumbing Assessment

### Analysis

West Plains Engineering's approach in analyzing the Wyoming Law Enforcement Academy involved reviewing As-Built drawings, site inspections, and speaking with the facilities staff.

### As-Built Drawings

As-Built drawings of the original construction and some interim projects were provided by WLEA. WPE reviewed these drawings for equipment specifications, ductwork design and routing, and system functionality.

### Site Inspection

WPE was able to inspect the facility on January 5<sup>th</sup>, 2020. The existing HVAC and electrical systems are approximately thirty-seven years old. They have been well maintained with some equipment modifications over the years. The original pneumatic controls have been updated to DDC controls.

### Existing Conditions

#### Site Services

The site is supplied with an 8" fire service line. The facility has a 4" fire service entrance located in the boiler room.

The sanitary service line for the building is sized at 8".

Domestic water is supplied to the site via 10" water line from a pumphouse located near site entrance on Hwy. 20. The 4" domestic water service is located in the Boiler Room.

## Plumbing

### Sanitary System

The sanitary system consists of cast iron pipe original to the 1985 facility. The system has not been upgraded except for minor repairs since it was originally installed.

### Domestic Water System

The copper pipe domestic water piping system is original to the 1985 facility. The expected life on copper pipe is 20 to 50 years. The existing piping is around 35 years old. Domestic hot water is supplied via a Lochinvar Power-Fin PBN-2001 boiler. The boiler is rated at 200 MBH and 84% efficiency. The hot water heating boiler was manufactured in 2007. The boiler combined with a plate and frame heat exchanger is used to heat domestic hot water. The hot water is stored in a 2,000-gallon storage tank. The domestic hot water has two circulation pumps that are used to maintain the hot water temperature through the building. It is still viable for serving the current domestic system. Changes of use and relocation would require modifications to the current system.

### Plumbing Fixtures

The plumbing fixtures appear to be original high-water use fixtures. Most of the faucet handles on the sinks and lavatories do not meet current ADA standards. The fixtures do appear to be in good working order.

The Kitchen fixtures were well maintained. If modification to the kitchen are required some fixtures will need to be updated to meet current codes.



Typical Lavatory



Fire Sprinkler Riser

### Fire Sprinkler

The fire sprinkler system is piped in black schedule 40 piping. The service entrance is rated at 203 GPM with a residual pressure at the riser of 114 psi. In 2014 the fire sprinkler service entrance had updated equipment installed. We were not able to find records on when the changes were made. From what we were able to see the fire sprinkler system appears to be up to date and in good working order. The fire sprinkler heads appear to be undamaged throughout the facility and meet the current codes. Changes in programming and space usage will require modification to the existing fire sprinkler system.

### Heating Hot Water System

The Heating Hot Water system piping is original to the facility. The original boilers, boiler pumps, and heating water system pumps were replaced in 2014. Boiler #1 is at Patterson-Kelley SC4000. The boiler is rated at 4000 MBH and 87% efficiency. Boiler #2 and Boiler #3 are Patterson- Kelly P-K Modu-Fire SN3000MFD boilers. They are rated at 300 MBH and 87% efficient. The three 1.75 horse power boiler circulation pumps are rated at 18 feet of head and 200 GPM. The system is a Primary/Secondary pumping system. What that means is that it has two sets of pumps. One set of pumps (Primary) pumps fluid through the boilers. The second set of pumps (Secondary) are used to pump the heating water throughout the building. The two sets of pumps are tied together with a low-pressure loss header. The hot water heating system pumps are rated at 7.5 horse power, 70 feet of head, and 258 GPM. The system is designed to supply 180°F heating water. The system operates with an expected heating water return temperature of 160°F.



Heating Water Boilers

## Chilled Water System



Fluid Cooler & Chiller

The Chilled Water System piping is original to the building. The Chiller was replaced in 2017. A new Chiller, Fluid Cooler, Chiller Circulation Pumps, and Chilled Water System Pumps were all installed during the update. The new Carrier AquaSnap Chiller (Model #: 30XVA2256H425-312) is rated at 225 tons of refrigeration. A Krack FEVF-26412MA fluid cooler was also installed. The fluid cooler is used “free cooling” when the outdoor air

temperature is lower than the required chilled water temperature. So instead of running the chiller, chiller water is circulated through the fluid cooler and cooled without using compressor power. The chilled water system is also a Primary/Secondary pumping system. Two pumps are used to pump the chilled water through the chiller and/or the fluid cooler. The secondary pumps are the system pump which pump fluid throughout the building. The system supplies chilled water at 45°F. The return chilled water temperature is 55°F.



Chilled Water Pumps

## HVAC

The HVAC system is a mixture of, original equipment and updated. The air handling units are all original equipment. The boilers, chiller, and water heaters have all been replaced fairly recently.

Almost all of the 1982 original facility is served by a series for multi-zone air handling units (AHU). Multi-zone AHU's utilize a series of separate ducts from the AHU to supply each zone. The ducts have a control damper located at the AHU to modulate to airflow to each zone. The fans on the air handlers are constant speed fans. The existing system does not have zone reheat, so the supply air temperature remains constant.



AHU-2

The dorm rooms are served by heating and cooling fan coil units. Fan coils are a basic box with a fan that blows air through both heating and cooling coils. These units have already surpassed the expected life cycle of 30 years. The units were selected using a 10°F temperature across the heating and cooling coils.

Fresh air for the dorms is supplied by a Make Up Air Unit (MAU). The fresh air requirement exchange rate is achieved by is exhausted using exhaust fans.

## Discussion - Adding Additional Capacity

### Site Services

The site services appear to be sized adequately to meet additional expansion requirements. The 8" fire service line could be tapped at a new location to meet additional demands. The 8" sanitary service line should meet additional demands. Matching elevations could cause some future issue depending on the location of any additions. The 10" domestic water line could be tapped at a new location to provide for future water needs.

### Plumbing

#### Sanitary System

The sanitary system consists of cast iron pipe. The system has not been upgraded except for minor repairs since it was originally installed. The age of the existing system could become an issue. There isn't good access to the underground portions of the sanitary system. WPE was not able to determine the existing conditions of the underground pipe. The aboveground sanitary and vent piping appeared to be good shape. Changes in the use of the facility could cause unforeseen changes that would require modifying the existing system.

#### Domestic Water System

The copper pipe domestic water piping system is original to the facility. The expected life on copper pipe is 20 to 50 years. The existing piping is around 35 years old. The existing piping is still viable for serving the current domestic water system. Changes of use and relocation would require modifications to the current system.

#### Plumbing Fixtures

WPE would recommend replacing the current plumbing fixtures with modern low flow fixtures. Faucets should be replaced with ADA compliant faucets.

The Kitchen fixtures were well maintained. Modifications in the kitchen area might require substantial updates in equipment to meet current codes

#### Fire Sprinkler

The current fire sprinkler system meets the codes for when it was installed. Changes in the use of the facility and area modifications would require updates to the sprinkler system. The modifications might require changes in the fire sprinkler mains and head locations. WPE would recommend a new fire service entrance be installed in any addition added to the facility.

#### Heating Hot Water System

WPE would recommend the equipment in the Hot Water Heating system be replaced. Modern systems are selected using a hot water heating water temperature of 140°F. The reason for this

is that condensing boilers that operate at higher efficiencies can be used. Another issue is that the current Air Handling Units and Fan Coils are already operating past their life expectancy. The existing boiler can be reused in any modifications as they are actually condensing boilers. They just can't operate in the condensing higher efficiency zone while supplying 180°F heating water. New heating coils could be selected at a 15°F temperature change across the coils which also results in lower energy use. WE would recommend replacing the existing Heating Water piping.

### **Chilled Water System**

The recommendations here are similar to the Heating Hot Water System. The chilled water Terminal Units and the Air Handling Units are past their expected life expectancy. The age of these units can start to become an issue. While the units have been well maintained, there are more energy efficient options. The Chilled Water coils should be selected with a minimum 15°F temperature difference across the coils. This results in lower fan and pumping power. It also allows the chiller to operate more efficiently. The existing Chiller and Fluid Cooler could be reused. WPE would recommend replacing the existing Chilled Water piping.

### **HVAC**

WPE would recommend replacing the Air Handling Units, Fan Coils and Fans currently being used. Multi-zone air handlers are not nearly as efficient as more modern systems and don't offer the type of zone control that modern designs and end users prefer. WPE would recommend using an Air Handler/VAV reheat system or similar system. This system provides 55°F cooling air year-round. The Variable Air Volume (VAV) boxes located in each zone modulate the air flow and temperature to meet the zone heating and cooling requirements. This would provide better temperature control and energy savings over the current system. These systems are used regularly in office buildings and schools. The efficiencies are good and they are easy to maintain.

The dorm rooms are conditioned with fan coil units. These units have already surpassed the expected life cycle of 30 years. We would recommend that these units be replaced with new fan coil units. The new units should have heating and cooling coils that are sized with a minimum of 15°F across the coils. Units selected using these criteria would require less pumping and fan power than the existing units.

Much of the existing ductwork would need to be replaced to affect these changes.

Updating the equipment would also allow a Building Automation System to monitor the building on a deeper level and provide better controllability for the HVAC system.

## Electrical Assessment

### Campus Utility Service

The existing campus site is served from an underground high voltage 12.5 KV radial line to pad mount terminal units by the utility company which in turn serve utility pad mount transformers at the main building and the four outbuildings. Each of the five buildings on campus have an individual utility meter with utility transformer. The utility 12.5 KV underground line starts from an overhead pole structure on the southwest portion of the site. The main building on site has a 15KV termination cabinet and a dedicated 500 KVA pad mount transformer in a utility yard. The utility yard also has the main exterior service entrance switchboard/ATS (by ASCO) near an exterior diesel generator. The pad mount 500 KVA transformer delivers 277/480-volt, three phase power to the exterior switchboard/ATS which back feeds the original 1982 service entrance switchboard and exterior air-cooled chiller. A disconnect switch is mounted on the side of the exterior switchboard/ATS serving the large air-cooled chiller in the same yard as the exterior diesel generator. The newer larger 500 KW exterior generator by Generac replaced the original smaller 25 KW generator.



Utility Yard

### Main Building Emergency Power

The newer larger 500 KW exterior diesel generator by Generac replaced the original smaller 25 KW generator in 2003. The exterior 500 KW diesel generator feeds the emergency side of the service entrance switchboard/ATS (by ASCO) which allows the entire building to be on emergency power. The service entrance ATS has a power circuit breaker with ground

protection as required by code. Per NEC 700.10 there is supposed to be separation from nonemergency loads and emergency loads. Based on observations of the power distribution the separation between nonemergency and emergency loads appear to be lacking. The emergency loads such as egress lighting and other life safety building functions should have separation from other loads to ensure continued operation of the more critical loads. Also, per the current NEC the emergency system requires selective coordination as well as properly labeled equipment such as Arc-Flash labeling on the equipment for safety reasons; both appear to be missing.

## Main Building Power

There are two main switchboards original to the main building “MDP” (277/480V) the original service entrance switchboard and “SDP” switchboard for the 120/208V power distribution. “MDP” switchboard feeds a 300 KVA dry-type pad mount transformer which serves the “SPD” switchboard. Both of the GE AV-Line switchboards and dry-type transformer are over 35 years old and near the end of their live expectancy and lack Arc-Flash labeling. The switchboards have very limited physical expansion. The existing panels are mostly GE type panels over 35 years old including the original main switchboards. GE electrical equipment was purchased by ABB in 2018. The circuit breakers in the existing 1982 panels are obsolete and will become difficult to replace over time. There are half-dozen newer GE panels as well as a couple of newer Siemens panels in the building that were added over a period of time. There are original 1982 motor control centers serving equipment with magnetic starters. Most new equipment will use other means that starters making the motor centers obsolete. The over 35-year-old MCC are near the end of their live expectancy. The equipment lacks arc-flash labeling and other type labeling as required by current codes.

## Out-Building Power

The two original 1984 firing range out-building and driving range out-building both have a utility pad mount transformer and utility meter immediately outside of each building. Each building has an original 1984 225A, 120/208V panel serving building loads. The building loads consist of electric heat, lighting, receptacles and small miscellaneous equipment. These buildings do have telephone lines installed in 1984. The other two newer out-buildings on campus the PSOB or Partial Skill Operation Building and the multi-purpose building have individual electric services with utility meters but lack telecommunications service. The PSOB does have electric heating and AC (two exterior units). The multi-purpose does not have heating or AC with the only load is lighting and receptacles.



## Lighting

Existing exterior lighting pole mounted luminaires and building wall mounted façade luminaires have been retort-fitted with LED lighting as part of an on-going lighting upgrade started in 2017. The exterior canopy/recessed lighting has not been upgraded from the original 1984 lighting at this time. The interior building lighting throughout the main building has about 70% to 75% original lighting consisting of fluorescent and incandescent. New LED lighting has been installed in about 95% of the corridors. The gym and MPR has also been upgraded to LED lighting. There are still several lighting fixtures such as in dorm rooms and classrooms; including the two original out-buildings that are original and out of date and need to be updated to new LED type lighting throughout the buildings on campus. As indicated under main building emergency power the entire building is on generator power. The out-buildings use individual battery type egress lighting.

The lighting control is mostly wall mounted light switches with a few wall dimmers in selected locations. An older analog relay dimming lighting control panel is located near the kitchen to control the dining room downlights which are all incandescent. A single wall mounted control station with a dimmer and on/off switch controls the dining room lighting. The open incandescent downlights are located over food serving areas which require lens fixtures per code. The total main building lighting controls should be reviewed and updated to more automated controls and energy efficient methods.

## Special Systems

Telephone system was replaced in 2018 by the state of Wyoming program or ETS, Enterprise Technology Services; Voice over Internet Protocol (VoIP). A G430 Avaya media gateway as well as Centurylink Catalyst 3750 with patch panels are rack mounted next to the original telephone service entrance and wall mounted punch downs. There are wireless hubs in dorm rooms and other selected spaces throughout the main building, which does not have 100% coverage. The main building has approximately 80% of wireless coverage. This system did connect back to the two original out-buildings. This system is expandable.



Telecommunication Rack

This system has been updated and expanded over the last few years. The data rack for the servers and punch-down blocks is located in the MDF room/IT work area with CPUs, monitors and other equipment. This room serve as the main building MDF and IT workroom for servicing and maintain the system. This system is expandable. "Still trying to retrieve additional information on IT system"



Data Rack

The campus buildings lack a network monitored security system. The main building has five exterior cameras and two interior cameras with local recoding through a (DVR) in the maintenance office. The buildings do not have a door access system. There are a couple doors which have local locking with local pushbutton release. The original Intercom system is an old obsolete (over 35 years) Rauland-Borg Telecenter III based system with a programmable

master clock not in use as well as tuner/cassette player and amplifiers. The system is partially used; however, the newer telephone system is also used for paging. The existing intercom system has been modified and expanded very little over the years. The clocks are now La Crosse Technology atomic analog battery wall clock which replaced the older wired clocks. Each classroom has a new clock and an intercom wall speaker. At the main entrance of the main building there is an intercom push to call station.

### **Fire Alarm System**

The existing fully addressable fire alarm system is a GE/Edwards EST 3 System and is less than ten years old, 2011. This system a network type system with expansion capability. The building has visual/audio or speaker/strobe depending on the location throughout the building. A pre-recorded voice message is activated upon alarm condition. There are three remote annunciators; one at the main entrance of the main building; one near the maintenance office; and one in the main conference room used as an emergency operation room as well. Each required air handler appears to have duct smoke detectors.

### **Audio/Video Systems**

Audio and video system consist of multiple components assembly specifically for the given space and application. The rack for the room has a Rauland Precedence series amplifier; Blonder-Tongue modulators; Radio Shack MPA-4 P.A. amplifier; Pyle PCA2 Stereo Power Amplifier; Dell CPU / Monitor as well as other auxiliary components. The custom local-made system with several different items was assembled through the acquisition of individual components by individuals at WLEA.

There two MILO Rooms with specialized equipment for leaser weapon simulation training. The rooms have a ceiling mounted projector, speakers and recording equipment. Auxiliary components consist of laser type pistols and laser tasers.

# APPENDICES

A. Meeting Minutes

B. Current Tasks With No  
Functional Space

[ MEETING MINUTES: ]

# Wyoming Law Enforcement Academy

## Meeting Minutes

# Kick-off Meeting

December 4 & 5, 2019

Douglas, WY

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**Attendees:** Charles L. Bayne Jr. - Director  
Brian Brooks - Deputy Director  
David Wilson – MWL Architects  
Fernando Salazar – MWL Architects  
Dale Buckingham – Arete Design Group  
Ben Reeves – Arete Design Group

### Initial Meeting/Tour:

Dec 4<sup>th</sup>, 2019

Identify Issues and increase familiarity of the WLEA facilities  
Solutions to resolve problems and meet needs  
Potential exists to increase users – current facilities don't accommodate agency requests.  
Bottleneck is the dorm housing  
Regional Opportunities  
Homeland Security Training?  
Bring training in .... Free?  
WLEA hosts outside agency Training, WLEA charges for room & board  
More and more outside training  
Tours, graduations fill the current Lobby  
Current lobby lacks security.  
Need to separate Public from Private areas  
Per WLEA Threat Assessment, the greatest threat comes from within  
Staff has a distress code in place to communicate a potential threat  
For security and vehicular Access, barriers could be considered  
Procedural issues addressed  
Security concern - there is only way in and out of the Campus.  
Site Access issues - lots of steep slopes  
All training is moving more digital  
Moving to "canvas" writing software for testing (Union of Utah)  
Testing on tablets or laptops? On-line? Potential to increase capacity for testing using laptops or tablets.  
Emergency power desired for the whole facility, using a diesel generator  
Paper storage @ teacher's station not needed... going digital; consider wall mount for instructor tablet  
Would like recording capabilities for absentees; consider providing wifi access to instruction at dorms for those who are sick.  
Would like distance learning (example Go.to.mtng. type connection)  
Cubbies for pack bags or bags in classrooms?  
Would like forensic training... currently train coroners  
Medical examination? Extents?  
Practical space  
Viewing screens to evaluate students... huge demand  
Instructor prep space... (reallocate space from previous projection room)  
Studio space needed for video development

# Wyoming Law Enforcement Academy

## Meeting Minutes

Lockers not used much in locker rooms – if dorms stay close to classroom and other training spaces, recruits will use dorm rooms to shower the majority of the time. This is an important adjacency to maintain.

Acoustics in Gym?

Seating in Gym is around 200

Gym: Defensive Tactics

Some recreation

Some physical training

Would like bigger running area

Previous study recommended a 400 seat Auditorium

Now would need a 600 seat Auditorium ; warming kitchen adjacent to Auditorium

How much parking space needed if bigger Auditorium?

Driving Simulator

2 one-wall projection systems – are adequate and allow throughput of trainees.

Larger and more expensive training simulators are great, but would need 2 to get training completed, and wouldn't have time to use all the capabilities.

### Kick-off Meeting

Dec 4<sup>th</sup>, 2019

**Attendees:** Charles L. Bayne Jr. - Director  
Brian Brooks - Deputy Director  
Steve Bennet - Facility Manager  
Sal Galvan - Maintenance Supervisor  
Jonie Moore - Food Services Supervisor  
Lance Kupke – Staff Instructor  
Angela Kueper - Housekeeping supervisor  
Jesse Curtis - Training Manger  
Justin Smith - Advanced Training Supervisor  
Chris Dutcher – Basic Training Supervisor  
David Wilson – MWL Architects  
Fernando Salazar – MWL Architects  
Dale Buckingham – Arete Design Group  
Ben Reeves – Arete Design Group

### Overall Goals:

Be in the cutting-edge training model with the most current technology

Do a better job of meeting customer needs – enhanced capacity; timely opportunities for training

This year they had 47 applications from 12 agencies but must turn away 9 applicants due to training limitations.

The firing range trains 12 people at a time, while the other 24 are waiting. Capacity is an issue

According to State Law, a recruit's basic training needs to be completed within one year from the day of agency hire, 30% of state agencies won't allow an officer in service until basic training is completed

If the Sheriff hires new personnel and they can't train right away, they must wait for 8 or more months

There are a lot of trainees but not all make it to graduation.

Peace officer training number is around 124 per year

Detention officer training number is around 85 per year

Out of 67 applications (average per training periods) the Academy can only accommodate 36

# Wyoming Law Enforcement Academy

## Meeting Minutes

120 Peace officer, 28 detention officers

The Academy needs better and updated training facilities, among them an EVOC skills pad and tactical village

Offsite facilities used for training have been: school, armory, lose jail, downtown area.

Current tactical and practical training takes place @ sidewalk, at fairground area.

Out of 814 training objectives, only 11% are hands-on

The goal is to achieve 20% hands-on training objectives. Other objectives are normal cognitive.

605 hrs. are dedicated to basic training, out of those (40%) 246 hrs. are practical hands on, the Academy would like to increase hands on training to 50-60%

All agencies in the state come here for basic training:

Need more space for specialty or Advance training (like highway patrol)

Sometimes the space is there for training but are lacking dormitory space.

Advanced training must work around basic training courses for both training & housing

Average classroom size is 30 up to 40 cap.

Wyoming OET funding comes from violation tickets– for training purposes

Some dorm space is dedicated for advanced training

Capacity 112 people in the dorms (2 per room)

2 x 36= 72 for basic training

4 to 8 are for guest instructors

Around 30 beds are for advanced training

Bottleneck for training is dorm space

Sometimes the room is not occupied but is not available due to need for cleaning

People ask for some classes where the terrain outside can be used (bikes, equestrian, tracking)

Current Academy site is 55 acres, but much is not usable due to topography

Currently there is a need to fix the EVOC skills pad problem (\$ 3.5 million), currently they have 6 acres but do not have high speed pursuit training.

EVOC training is deficient in the state and in the region, they are looking for a higher speed course

Coroner basic training (average 20) once a year

Fingerprint; castings (open to more advanced crime scene classes)

Dispatch class (exercise at the end of the class) – Prefer a console setup. A couple of rooms (16 to 20 students)

Dining room holds 125 max. In order to have more capacity sometimes they stagger lunches

There is a need for bigger cafeteria, bigger seating, bigger kitchen

Storage for kitchen is a bigger need. Frozen storage is the biggest need. Another warming oven, space for disposal. Dishwasher room is not enough, bottleneck when you are returning the tray.

Physical Training (multi-purpose room – Gym)

For physical training the Academy uses the gym while other activities are taking place. They need a dedicated space for defensive tactics (allow 8 -9 ft diam per grappling pair) and other training activities.

Training Scenario Spaces:

Corrections (body/scuffle cell response)

Transport (Sally port Area)

DV; active shooter

Bldg. bench -mock court testimony

# Wyoming Law Enforcement Academy

## Meeting Minutes

Interview/interrogation  
Cell types

### Tactical Village

Want to incorporate this, with ability to incorporate skills pad into a scenario as well.

Site has 55 acres

### Firearms

# Firing positions. Distances requirements

Target system is past its useful life (needs to be replaced)

Makeshift ranges developed

EVOc maintenance [pass?]

Sloppy asphalt (5-6 acres) that moves to the river

The Academy is using abandoned runways at the Airport for EVO

Police vehicle operation – lacking space for training statewide.

## **FACILITIES & MAINTENANCE**

Dec 4<sup>th</sup>, 2019

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Steve Bennet - Facility Manager  
Sal Galvan - Maintenance Supervisor  
David Wilson – MWL Architects  
Fernando Salazar – MWL Architects  
Dale Buckingham – Arete Design Group  
Ben Reeves – Arete Design Group

1 Supervisor Maintenance Support

1 Bldg. + Grounds Specialist (Desk)

1 HVAC Specialist (Desk)

Storage Building (ceiling Tiles, Lights, Filters, equip. Tractors, 4-wheel, lawn equip, 3 travel cars, 2 sedans + 1 SUV) Training Vehicles (22 cars covers all Fleet)

Ammunition Storage

Cold storage

Metal Building (full) adjacent to Firing Range

- (2) storage sheds (8 x 10) Receiving Area
- (1) 10x 20 space (Ground equip)

Storage in the boiler room

Every mechanical room has storage in it – need to allocate appropriate storage space.

Mechanical storage need (20 x 40) area

Former laundry room is now Linen and janitorial/chemical station (Combination: Office, laundry & chemicals)

Facility has 3 linens sets, while one is in use, they have 2 other sets being washed and/or clean

Every dorm level needs its own 8x10 Linen storage and janitorial room with carts.

There is a need for a service elevator to move/carry equipment/linen, other items

Laundry Facility with machines and folding tables (laundry size needs to double)

# Wyoming Law Enforcement Academy

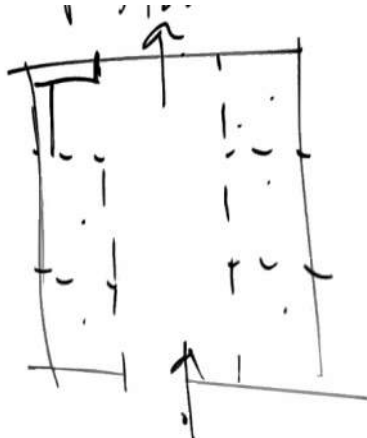
## Meeting Minutes

Need a General storage Room (8x10)

Need space for a real maintenance shop and dedicated covered space for vehicle storage; number of vehicles?

Need a wash bay w/sand trap

Training storage, storage systems for equip. may reduce need



Receiving and Temporary Storage Facility Concept (40' x 40')

- Drive aisle with 4-5 secure storage areas + inventory (barcoding/RFID) workstation
- Located at site security separation (delivery access from public side; access to secure side for distribution); also works in reverse for outgoing items for pickup.
- Ammunition storage
- Kitchen temporary storage

Classroom Storage

- Tables & Chairs storage needed
- M.P. CR (200 sf)
- Tiered CR move to flat for? (100 sf)
- Instructor storage

Ammo storage – 600K rounds -growth to 900K

IT Stor/ Mock room/ Staging sp.

### ADMINISTRATION & OFFICE

Dec 4<sup>th</sup>, 2019

**Attendees:** Charles L. Bayne Jr. - Director  
Brian Brooks - Deputy Director  
Megan Doneski - Training Specialist  
David Wilson – MWL Architects  
Fernando Salazar – MWL Architects  
Dale Buckingham – Arete Design Group  
Ben Reeves – Arete Design Group

Staff:

1 Director  
1 Deputy Director  
1 Training Manager  
2 Training Supervisors [confirm, future need?]

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# Wyoming Law Enforcement Academy

## Meeting Minutes

7 Staff Instructors - possibly up to 13 [confirm]  
1 Finance officer/HR support  
Open space:  
Training Support specialist (Megan)  
1 Office Assistant  
1-2 Post Training Specialist (need enclosed office); future 4 [confirm]  
1 Multi-media specialist (E-Learning Coordinator)  
1 IT Specialist

### POST COMMISSION

1 Executive Director  
Need Conference space (1-8) (room?)  
Considering ½ post/ and ½ WLEA (1 person)  
60 student class (where is this space? Dedicated or shared?)

Customer service is deficient  
Need conference room (from 14 to 20)  
War Room/Conf (6) Command Center (future)  
Board Room (Advisory Board) \*WLEA and Post Commission could use, make IT ready, could double as mock court; 10 @ head table; Gallery up to 30 cap.; pot. Legislator use  
Copy/Work/Print/Recyclables  
WLEA Stor. @ Bldg. 250 SF  
Small secure File storage 8x10  
Safe in Admin  
Waiting (2)  
Break space – coffee, fridge, sink (Galley/Kitchen); Close to Waiting  
Staff restroom  
Small Conference room (Team Room) 4-6 person  
Consider security at entrance

### CLASSROOM & TRAINING

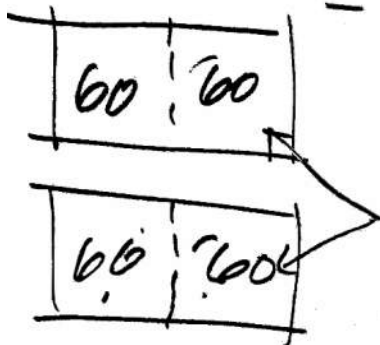
Dec 4<sup>th</sup>, 2019

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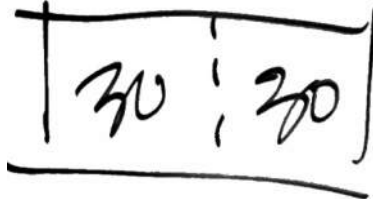
Classroom space 4 x (60) or teaching Auditorium?

# Wyoming Law Enforcement Academy

## Meeting Minutes



Breakout Rooms 6 x (10 people capacity?); across the corridor ok  
Test on laptops (60 at a time needed – moving to laptop testing may allow for 60 in existing testing room, rather than bulky desk stations.)  
MILO viewing space (4) 100 sf  
MILO Rooms (4) (15'x24')  
-15-20 min for evaluation  
½ hr. session  
2 Small classrooms (30 students each)



Dimensions (15 x 20)  
6 graduations per year, usually take place in Auditorium/Conf. Center

### PRACTICAL TRAINING

Dec 4<sup>th</sup>, 2019

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Kurt Taboga - Staff Instructor  
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Scenario Rooms and Tactical Village topics discussed

Scenario Training:

- Run in teams of 6 persons each
- Existing detached building is a residence mock-up, the other side is for mocked up cell, 2 room office and bar. It has walkways in each side. (Scenario Training)
- Tactical Training
- Booking Area
- Holding Cells

# Wyoming Law Enforcement Academy

## Meeting Minutes

- Interrogation Room
- Mock Courtroom
- Crime scene processing (kitchen, bedroom, living room)
- up to 6 rooms
- Still use dorm rooms for scenarios
- Need storage for props
- Defensive Tactics testing (relationship to scenario rooms?) (Padded Floor; no sharp corners)

### Tactical Village functions/components:

- Building Search
- Domestic violence
- Active shooter
- School (Linear 1-story)
- Trailer
- 1 Two-Story w/stair
- 1 Main Hallway
- Single wide/double wide trailer
- Small bar
- Convenience store
- Police station (w/break, holding)
- Courthouse
- Front & back doors
- Curb/sidewalk
- Paved and dirt Roads
- Intersection / Traffic Stop

### FOOD SERVICE

Dec 5<sup>th</sup>, 2019

**Attendees:** John Rexius – State of Wyoming Regional Project Manager  
Charles L. Bayne Jr. - Director  
Brian Brooks - Deputy Director  
Steve Bennet - Facility Manager  
Jonie Moore - Food Services Supervisor  
David Wilson – MWL Architects  
Fernando Salazar – MWL Architects  
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Ben Reeves – Arete Design Group

### Kitchen Central

Dining serves 125 max. (From Markerboard under Food service title: 100 basic + 75 advanced/training +17...)

- moved drinks into dining room helped service flow
- No food in dorms, food must stay in dining room
- Consider expansion into Courtyard?
- Lunch is biggest meal of the day (Breakfast & dinner are not as big)
  - Breakfast: 483 meals
  - Lunch: 1661 meals

# Wyoming Law Enforcement Academy

## Meeting Minutes

- Dinner: 678 meals
- 6:30 to 7:30 Breakfast, 12 to 1:00 p.m. Lunch, Dinner 5-5:30
- Crew hrs. 5 a.m. – 6 p.m.
- Consider extending mealtimes 1.0 hour to 1.5 or 2 hours
- Delivery/Reception for food is small.
- 1 food delivery per week – acceptable currently; consider adding storage at central campus receiving facility
- 80-100 sf. For freezer. 80-100 sf for refrigerator, temporary dry storage
- If students grow, food delivery will have to be twice per week.
- 2-3 man-hours per delivery to stock supplies
- 30-40 minutes per 5 group staff in receiving [confirm group size]

### Kitchen staff 5

- 1 Food service supervisor
- 2 cooks
- 2 assistants
- Out of 2 assistants, one works in housekeeping each Friday.

Kitchen needs to be in a central location with more circulation than current Kitchen.

Move desserts, condiments, dinnerware, to island at dining.

Provide food warming area with space for catering carts

Increase dining capacity to 225 – To stay cafeteria style

Recent capacity example - Oct 2019 – 3451 meals divided by 21 days (per month) divided by 3 meals per day = 55 meal per period (average)

There is no weekend service and no Friday dinner.

Permanent warming area (to keep extra food) and transport food carts

Supplies, trays, etc. in a 10' x 20' area now, it was planned originally for coats closet

Kitchen staff needs a small open Workstation (shared) for 2 computers (time-keeping)

Kitchen staff take care of trash, recycling, cleaning, at kitchen + dining areas

Prep area will need to increase as the classes grow

Currently they have 3 prep tables (3'x8'), it can grow to 6 tables with expansion

Kitchen equipment:	Current	Future
Steamer	2	3
Convection oven	2	4
Stove/Grill	4	6
Fryer	1	2
Warming Oven	1 (3'x4')	2
Serving Line	1	x2 size

Dish room needs to be redesigned to be more efficient. More standing space on sides ( 8 LF ea side)

Circulation behind service line is tight – needs to expand

Space needs to double to accommodate more equip. and food prep/clean/wash

Consider option to go into the courtyard for expansion

In 1984 the Academy was designed to train only peace officers, now there are 5? training programs:

Peace Officer BLET; Detention Officer BLET; Advanced Training; Coroner Training

# Wyoming Law Enforcement Academy

## Meeting Minutes

### DORMS/HOUSING/HOUSEKEEPING

Dec 5<sup>th</sup>, 2019

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Supplies – 3 closets now (30 sf each) not square, triangular shape  
Upstairs would be preferred one single closet.  
Main Janitor at the 1st floor. 10'x15' (One of three)  
One Central Location for linen storage (10' x 15')  
2 closets 30 sf each, future needs are 70 sf each (one at gym and the other at Lobby)  
The entire building is cleaned by 4 people; daily cleaning includes: bathrooms; admin; lobby; classrooms  
Admin needs a housekeeping closet (70 sf)  
Ideally 2 closets (1 per floor) 150 s.f. each will cover most needs  
Add housekeeping/supply for future Auditorium  
Paper Supplies (toilet paper, etc.) – need 100sf  
Need space for storing 2-3 spare beds  
Laundry is currently carried upstairs- need linen storage at each floor.  
Linen receiving space (10x5)  
Main Laundry room  
Office for Housekeeping Supervisor + workstations for 3.5 housekeepers  
Provide cubbies/lockers for staff  
Receiving dirty laundry (2 carts now> 4 in the future)  
1 washer + 1 dryer now, but need 2W and 2D now; pot. Space for 3W and 3D with additional dorm space.  
Every week there is linen exchange for dorm rooms. No bed made-up.  
45 min for cleanup and change over room; 2 hours needed for a deep clean.  
Currently in the hallway a table is setup with clean linen for students to pick-up. 6 l.f. to 12 l.f.  
Sometimes the students help clean the dorms.  
Volunteers (other staff) provide 20-50 hrs./week  
Staff at full capacity spends 60% of their time cleaning and 40 % in laundry  
Control over bedding promotes good hygiene

### FIREARMS TRAINING

Dec 5<sup>th</sup>, 2019

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*McClaren Wilson & Lawrie, Inc.*

# Wyoming Law Enforcement Academy

## Meeting Minutes

Fernando Salazar – MWL Architects  
Dale Buckingham – Arete Design Group  
Ben Reeves – Arete Design Group

Firearms Staff (3)

Lead Firearms Instructor 1

Firearms Instructor 2

Range control – existing tower at support building at outdoor range for oversight/supervision

Most activities can be completed (90%) in 50 Yd firing Range

50 yd range:

- Problems weather related: snow, rain, short daylight
- Indoor firing range
- (30 positions). Handgun and rifle rated training (rated for at least .308)
- Commercial ball ammo.
- Frangible ammo anticipated for indoor range use.
- 5' wide lanes standard, with 6' wide lanes at sidewalls
- Desire to clear-span 30 lanes (approx. 152')
- Target retrieval system not needed – this is a tactical range (shooters move downrange)
- Target systems: fixed turning targets; running man targets behind fixed turning targets; potential pop-up targets
- Loveland, CO Indoor firing range has a similar Fire range with the desired 15' height baffle clearance.

Discussed rubber vs steel traps; and better recycling from rubber traps due to projectiles being largely intact.

A class A rubber trap is available (however, only one manufacturer / vendor right now)

Confirm tallest vehicle to access the indoor firing range – Bearcat (15' clear height) or standard SUV and sedan (9'-4" clear height)

100 yd outdoor range:

- 30 lanes at 6' wide each lane
- Stationary targets

300 Yd outdoor range:

- at least 12 lanes at 6' wide each lane
- Could use lead (especially if outside agencies come to train)

Support space at outdoor range

- Target and stands storage
- Supplies
- Toilet room

Ammo storage - 700 K rounds (ammo) in shelves (3 level heavy duty shelving; delivered 2x per year, approx. 250K – 300K each time?)

4 [mounted] Lockers?

15'x15' current space for ammo storage.

Weapons vault/armory (30 handguns + 20 long guns), with armorers work area, and simunitions rounds

Simunitions storage [at Tactical village] 8'x10'

- Masks
- Sims weapons

Training Props [storage area?]

# Wyoming Law Enforcement Academy

## Meeting Minutes

Weapons cleaning room for 20 people + clearing port, lateral exhaust at cleaning stations, compressed air (remote compressor), ultrasound cleaner

Classroom for firearms (60 people) (table 2.5'x5')

Classroom could accommodate storage & cleaning [confirm]; recommend separate storage from classroom (10x20 storage for tables and chairs, etc.)

Video monitoring in lieu of glassed observation is ok, saves cost; better sound isolation

Ready Room –with access to ear protection, range signage, range in-use lighted sign

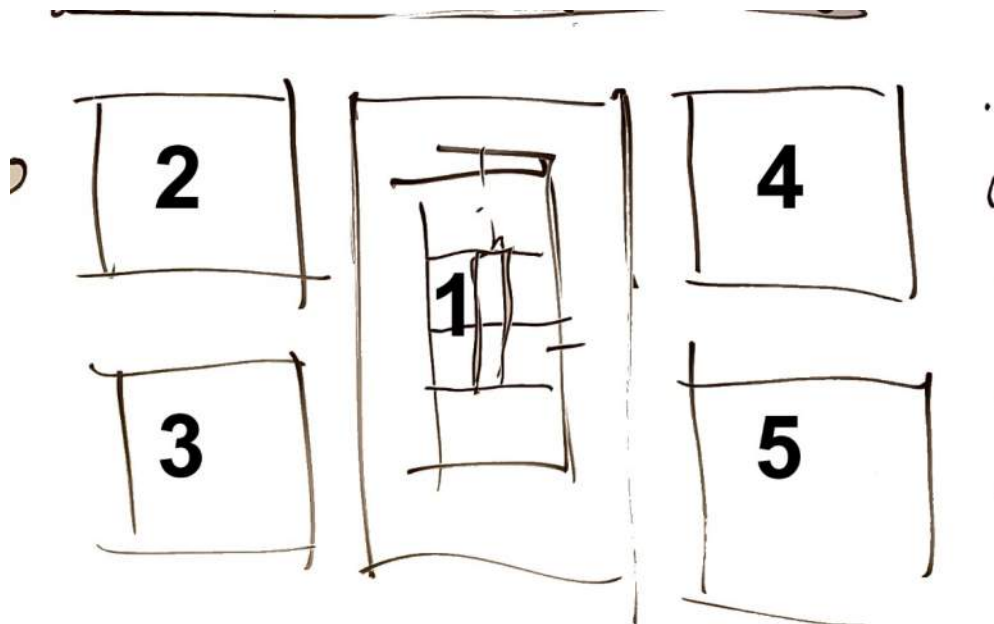
Students storage for their weapons

- Vertical lockers for long guns + handgun (120 lockers)
- Locate near dorm rooms

### TACTICAL TRAINING

Dec 5<sup>th</sup>, 2019

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# Wyoming Law Enforcement Academy

## Meeting Minutes

### **Block 1**

2-Story  
Technology incorporated  
Monitoring  
Toilet Rooms  
2 staircases (1 Open, 1 enclosed)  
6-7 facades  
Center Hallway  
Some 2-Story, balcony space  
Convenience store  
Bar  
Motel  
Single Wide, Double Wide

### **Block 2**

Courthouse Security  
Vehicle Sally Port  
Booking  
Holding  
(vehicle drive btwn Courthouse & PD)

### **Block 3**

Convenience Store  
Bar

### **Block 4**

Motel  
Single wide  
Double wide

### **Block 5:**

School

### **Streets:**

Curb/sidewalk in limited area  
Street widths – Bearcat 60' width  
Side streets: Alley width  
Portable signs

Develop an area for heavy duty use (prying; ramming; explosive breaching)

Anticipate a variety of street widths:

- 30' + sidewalks (sidewalks in limited area)
- 30' w/o sidewalks
- 20' wide streets (between blocks 2 and 3, and 4 and 5); alley
- Verify street width and turning radius needed for bearcat use
- Portable signs and other props to vary streetscape

## **EVOC**

Dec 5<sup>th</sup>, 2019

### **Attendees:**

John Rexus – State of Wyoming Regional Project Manager  
Charles L. Bayne Jr. - Director  
Brian Brooks - Deputy Director  
Jesse Curtis - Training Manger  
Chris Dutcher - Basic Training Supervisor  
Gabe Walz – Staff Instructor  
David Wilson – MWL Architects  
Fernando Salazar – MWL Architects  
Dale Buckingham – Arete Design Group  
Ben Reeves – Arete Design Group

# Wyoming Law Enforcement Academy

## Meeting Minutes

Currently driving course is limited 2 cars at a time to avoid accidents – a larger area would allow for more cars on the course at a time.

Would like pursuit driving course if more land available – driving track opportunity is distant. Staff identified one in Utah; MWL mentioned the Loveland, CO NCLETC currently in construction with larger driving track and skills pad; staff felt it would still be difficult to utilize this effectively when completed.

Course work with cone setup; WLEA (Gabe) to provide a diagram of the driving course on the current driving pad.

Apex turn training

Existing 2-car module 500 x 750. Current facilities allow students get 45-60 minutes behind the wheel – desire more time for each student.

Skills/driving pad preparation important – need to provide compacted road base beyond the edge of the driving surface to preserve the pavement edge.

WLEA would like to double the current driving pad or incorporate a separate driving track.

On-site fueling is desired, could be a space allocated for a tanker truck trailer to be parked, with dispensing setup, and refilled / replaced as needed.

Shop space:

- Tires
- Oil
- Thru WYDOT?

Shop is adequate if used as a Shop, with separate vehicle storage space.

There are enough training vehicles (17), just need better vehicles

Off-road course?

- Terrain
- Hills
- Mud
- Snow

EVOC storage

- Cone storage (80-100 sf)
- Vehicle storage (10 vehicles)

## SITE DESIGN & SECURITY

Dec 5<sup>th</sup>, 2019

**Attendees:** John Rexius – State of Wyoming Regional Project Manager  
Charles L. Bayne Jr. - Director  
Brian Brooks - Deputy Director  
Jesse Curtis - Training Manger  
Steve Bennet - Facility Manager  
Sal Galvan - Maintenance Supervisor  
Warren Steele - Staff Instructor  
David Wilson – MWL Architects  
Fernando Salazar – MWL Architects  
Dale Buckingham – Arete Design Group  
Ben Reeves – Arete Design Group

One way in and out of the current site is a security issue  
Building exposed to vehicle attack

*McClaren Wilson & Lawrie, Inc.*

# Wyoming Law Enforcement Academy

## Meeting Minutes

Current access thru 4-digit code. After 1 month most of the community knows the Access code. The Academy needs another layer of security.

WLEA wants to limit access thru access control system - dormitories use physical keys now.

Mechanical locks only – Sargent Keys

4 Unicam locks at entrances

Currently there are only 6 cameras for exterior surveillance; no cameras at back of the building  
Interior of building has 2 cameras: 1 at Lobby and other @ HDCP entrance

4 Classrooms have cameras for training

All major hallways with camera include dorms. Entrances. Remote viewing Access. Computer Lab. Rooftops would not be a bad idea.

Garbage truck needs to Access

Delivery points for food, ammo, linen, equipment

Fencing? Perimeter Fence

Fencing between buildings?

Exterior lighting is LED

Interior lighting it's in the process transitioning to LED

Snow catchers: wing walls, at entries, sidewalks among the buildings are “traps” for snow season, they catch more than 4 ft or more of snow and there is no way to dispose or move the snow.

A distress code or panic alarms are needed for Admin personnel

Secure Lobby – Access to Reception, waiting, meeting room, toilets

Maintenance walks every day the whole perimeter of the building

P.A. System dates from year of construction, could be outdated

Controlled access and video surveillance w/remote viewing is needed for the following areas:

all major hallways (including dorms), all entrances, Food area, Firearms Vault, Ammo storage, building perimeter, Computer Lab, Classrooms, Access road, EVOG area

Offsite security/alarm monitoring is currently used.

Campus perimeter needs fencing and good security lighting

Visitors to site should be kept from wandering to ‘back doors’

### **DEFENSIVE TACTICS TRAINING, FITNESS, SUPPORT SPACES**

Dec 5<sup>th</sup>, 2019

**Attendees:** John Rexus – State of Wyoming Regional Project Manager  
Charles L. Bayne Jr. - Director  
Brian Brooks - Deputy Director  
Jesse Curtis - Training Manger  
Steve Bennet - Facility Manager  
Sal Galvan - Maintenance Supervisor  
Warren Steele - Staff Instructor  
David Wilson – MWL Architects  
Fernando Salazar – MWL Architects  
Dale Buckingham – Arete Design Group  
Ben Reeves – Arete Design Group

A track inside the building is desired for training during inclement weather, 4-Lane track would be enough.

Evaluation is for 12-15 minutes running; 1.5 miles

*McClaren Wilson & Lawrie, Inc.*

# Wyoming Law Enforcement Academy

## Meeting Minutes

Fitness center in existing building is at the Gym

Mat area used for calisthenics.

Parking Needs:

- Skills pad 20
- Track 20
- Tactical Village 20
- Outdoor range [?] [50 - confirm]
- 225 parking current + 125 conferences = TOTAL 350 spaces needed for future growth (10 years)

Consider space for delivery vehicles

The State Building Commission will take in consideration:

1. Capacity
2. Outdated Functionality
3. Building Condition

[ Current Tasks with  
No Functional Space: ]



## Wyoming Law Enforcement Academy

Training Division

1556 Riverbend Drive, Douglas, Wyoming 82633

307.358.3617

wleacademy.com

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Job Tasks that are either currently simulated or taught as lecture due to the lack of an urban “town” setting.

A104: Respond to crime-in-progress call.

C5: Conduct neighborhood canvass to collect crime (or offender) related information, identify witnesses, etc.

C8: Interview complainants, witnesses, etc. – No interview facilities

C16: Conduct a field “show-up” ID (Single suspect confrontation, drive-by) with victim or witness to identify a suspect.

C25: Conduct stationary surveillance of individuals, locations, vehicles, etc.

E2: Search for, protect, and collect evidence at motor vehicle crash scene.

E3: Control spectator/media access at scene of crash or other law enforcement action.

E9: Control traffic at scene of crash investigation.

E17: Take measurements at motor vehicle crash scene. (e.g., triangulation, baseline, coordinate and combination, etc.)

E21: Follow suspect vehicle to observe traffic violations.

J2: Engage in high speed pursuit in congested area.

J3: Engage in high speed response in congested area.

Job Tasks that are either currently simulated or taught as lecture due to the lack of appropriate EVO facilities.

A36: Use deflation devices (e.g., stop stick, spikes, etc.) to slow a vehicle.

J4: Engage in high speed pursuit off road.

J5: Engage in high speed response off road.

J6: Engage in high speed pursuit on open road.

J7: Engage in high speed response on open road.

J10: Operate law enforcement vehicle in heavy rain.

J11: Operate law enforcement vehicle on dirt road.

J13: Operate law enforcement vehicle on ice/snow covered road.

J14: Operate law enforcement vehicle at night.

J17: Operate law enforcement vehicle on a gravel road.

Job Tasks that would be completed more thoroughly or functionally trained with appropriate facilities.

A8: Execute stop of motor vehicle, approach and talk to operator and passengers.

A10: Conduct high-risk vehicle stop.

A64: Intercede in domestic disputes to resolve, maintain peace, protect persons, etc.

A75: Investigate suspicious vehicle.

A82: Transport juveniles to home or detention facility.

A92: Take control of publicly intoxicated/disruptive person.

A98: Make arrest without warrant at scene of domestic violence.

A102: Accompany spouse/domestic partner to pick up belongings.

A105: Serve as back-up (contact/cover) officer at scene.

A106: Search for missing children.

A107: Search for missing adults.

A111: Search for person in darkened building or environment.

A115: Conduct welfare check of citizen to ensure safety of person, e.g., suicidal, emotionally unstable, etc.

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## *Wyoming Law Enforcement Academy*

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- C1: Study crime scene to identify modus operandi (M.O.) of perpetrator.
- C21: Sketch crime scene.
- C40: Conduct on-going/beyond initial response investigation of felony assault/battery. +
- C41: Conduct on-going/beyond initial response investigation of misdemeanor assault/battery.
- C42: Conduct on-going/beyond initial response investigation of burglary.
- C43: Conduct on-going/beyond initial response investigation of felony larceny/theft.
- C44: Conduct on-going/beyond initial response investigation of misdemeanor larceny/theft.
- C55: Conduct on-going/beyond initial response investigation of disorderly conduct/disturbance.
- C56: Conduct on-going/beyond initial response investigation of receipt of stolen property.
- C57: Conduct on-going/beyond initial response investigation of weapons/firearms offenses.
- C59: Conduct on-going/beyond initial response investigation of controlled substances.
- C61: Conduct on-going/beyond initial response investigation of domestic violence.
- C62: Conduct on-going/beyond initial response investigation of child abuse or neglect.
- C63: Conduct on-going/beyond initial response investigation of harassment/stalking.
- C64: Conduct on-going/beyond initial response investigation of suspicious activity/vehicle/person.
- C67: Conduct on-going/beyond initial response investigation of personal injury crash.
- C68: Conduct on-going/beyond initial response investigation of hit and run crash.
- C70: Conduct on-going/beyond initial response investigation of other motor vehicle incidents.
- C71: Conduct on-going/beyond initial response investigation of other traffic offenses.
- C90: Conduct on-going/beyond initial response investigation of theft/destruction of public property.
- D18: Plan and execute search warrants.
- D19: Prepare affidavit for search warrant.
- D20: Plan and conduct a warrantless search.
- D61: Operate vehicle to transport detainees/offenders.







# Wyoming State Construction Department

Governor Mark Gordon

Jerry Vincent, Director

December 27, 2021

Members of the Joint Appropriations Committee:

Per the meeting held on December 7, 2021, Senator Perkins requested an explanation of the cost per square foot for the Department of Family Services Boys School, not including land.

Please find the information below:

The cost for the request at the DFS Boys School in Worland includes the following:

- Demolition of two existing buildings
- Asbestos abatement of two existing buildings
- Building pad preparation
- A pole barn wooden structure, insulated, with metal roofing and siding
- Electrical system to consist of lights, minimal outlets
- Plumbing/HVAC to consist of one gas unit heater

The cost request does not include:

- A concrete floor – this will be bid as an alternate and added if budget allows
- Due to inflation, supply and mill shortages, pre-engineered metal building costs have increased dramatically over the last 12+ months. The request would increase by \$182,000 to provide a pre-engineered metal building.

Further clarifications:

- The original request was for an 8,000SF building. Upon further review of DFS request – the proposed budget is not sufficient for the building size. The request is being reduced to 7,000SF.
- When the demolition and abatement are accounted for, the request by DFS is consistent with similar requests by other departments.



# Wyoming State Construction Department

Governor Mark Gordon

Jerry Vincent, Director

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December 27, 2021

Members of the Joint Appropriations Committee:

Per the meeting held on December 7, 2021, Senator Kinskey requested a list of project participants for the Veteran's Home domiciliary and roles.

Franz Fuchs with the Department of Health Director's Office has emailed Senator Kinskey with the answers to his questions under a separate cover.



# Wyoming State Construction Department

Governor Mark Gordon

Jerry Vincent, Director

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December 27, 2021

Members of the Joint Appropriations Committee:

Per the meetings held on December 7, 2021, Representative Nicholas requested a list of other potential funding options, if any, for the Veteran's Home.

The Wyoming Veterans' Home Domiciliary project is under consideration for eligibility of ARPA funds.



# Wyoming State Construction Department

Governor Mark Gordon

Jerry Vincent, Director

December 27, 2021

Members of the Joint Appropriations Committee:

Per the meeting held on December 13, 2021, Representative Nicholas requested information on the additional unanticipated costs for Ten Sleep K-12 School and any/all other additional unanticipated cost estimates.

The Ten Sleep School project, the Riverton Auditorium project, and the additional Component Project Requests under consideration, potentially add an aggregate amount of \$2,751,141 to the Unanticipated Request, as outlined below:

- **\$1,800,000** for the Ten Sleep project, which was calculated by taking the \$30,000,000 suggested by the Select Committee on School Facilities and multiplying by 6%.
- **\$492,000** for the Riverton Auditorium which was derived by taking the \$8,200,000 put forth by the Select Committee on School Facilities and multiplying by 6%.
- **\$459,141** additional for the Component Project Requests. The \$1,504,411 Unanticipated Request in the Agency 027 Budget Request includes consideration for \$13,347,649 in Component Projects. However, the Component Requests put forth by the State Construction Department (SCD) totals \$20,826,451, thus the addition of \$448,728  $((20,826,451 - 13,347,649) \times 6\%)$ . This amount is further increased to include consideration for the Select Committee on School Facilities suggested expansion of the Component Projects, to a total amount of \$21,000,000, thereby bringing the amount up to the overall \$459,141  $((\$21,000,000 - \$13,347,649) \times 6\%)$ .

**The above-mentioned would increase the Unanticipated Request for the 2023-2024 Biennium Budget to a total of \$4,255,552.**



# Wyoming State Construction Department

Governor Mark Gordon

Jerry Vincent, Director

December 27, 2021

Members of the Joint Appropriations Committee:

Per the meetings held on December 13, 2021, the Committee requested any revisions to major maintenance calculation based upon updated information.

In light of the JAC inquiry, the State Construction Department (SCD) updated the major maintenance projection using the latest figures from the Wyoming Department of Education. The calculation netted an increase of approximately \$300,000 from the request originally submitted by the agency.

**23-24 Biennial MM request**

Standard Budget	\$153,000,000
Original Exception Amount	\$5,665,715
Additional request per updated WDE information	<b>\$300,000</b>
<b>Total Major Maintenance Request</b>	<b>\$158,965,715</b>

